

# SITE



MOUNTAINSIDE VILLAGE

A New Neighborhood for Victor Idaho

# Giving Physical Shape to Community

Traditional Neighborhood Design provides a **range of housing choices**, from apartments over storefronts to single-family homes with yards.





# Traditional Neighborhood Design in Idaho



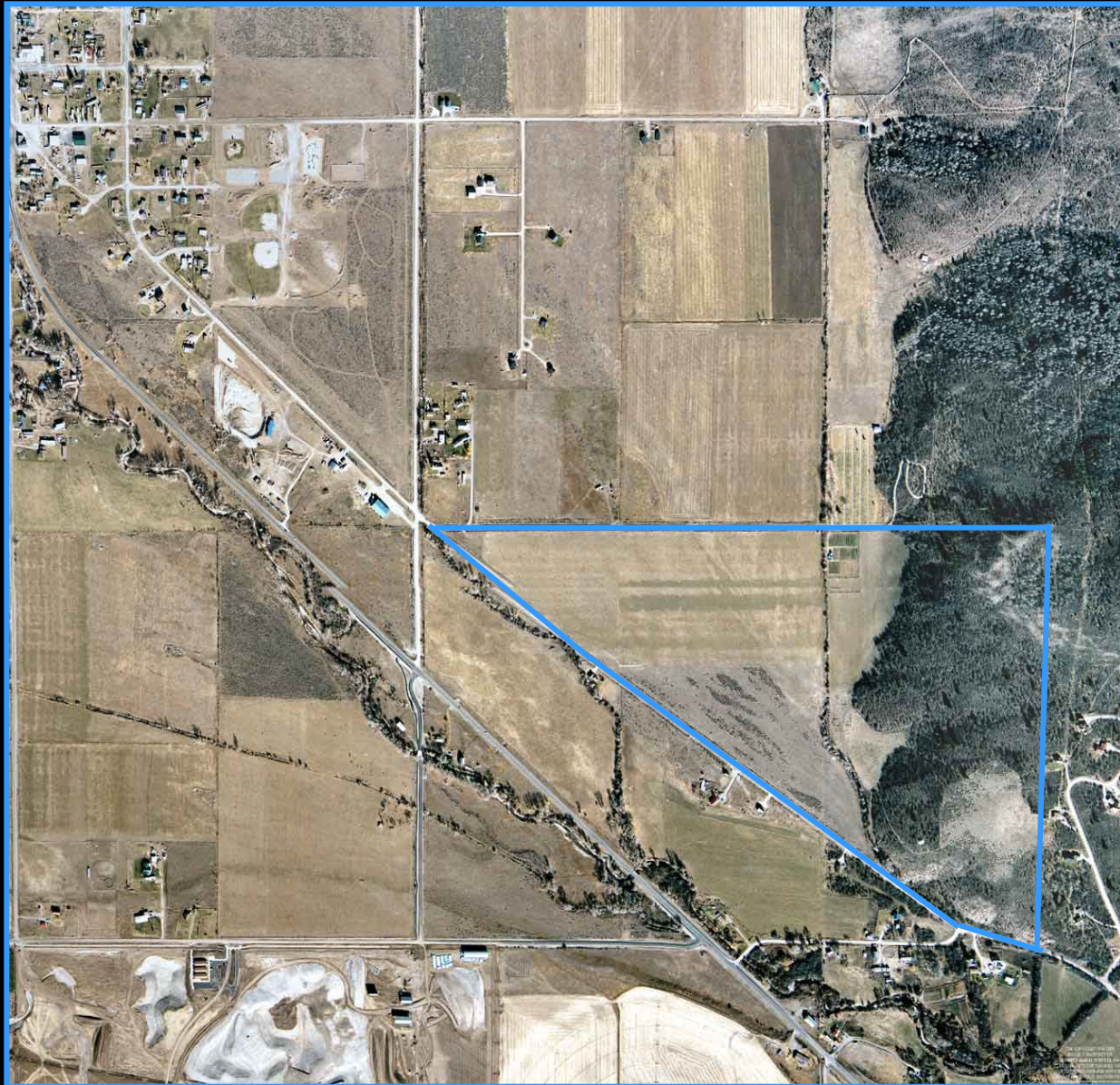
Boise

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






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# SITE PLAN

## KEY TO BUILDING TYPES

-  Neighborhood Center 1
-  Mansion Buildings
-  Row Houses / Flats Houses
-  Pedestrian Court Cottages
-  Village Houses
-  Residential 65'
-  Boulevard Homes
-  Edge Lots
-  Hillside Lots
-  Neighborhood Civic
-  Neighborhood Center Tower
-  Common Open Space & Right of Way
-  Natural Open Space
-  Pathways

N



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MAY 5, 2005

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# Variety of Housing Types



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# Street-Scapes



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# COTTAGES



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# Cottages



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# Cottages





# VILLAGE HOUSE



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# SIDE YARD



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# LOT STANDARD SIDE YARD

## MOUNTAINSIDE VILLAGE DEVELOPMENT STANDARDS

### RESIDENTIAL 65 & VILLAGE HOUSE LOT STANDARDS

#### LOT STANDARDS - Residential 65

The Residential 65 house is designed to be a one-and-a-half-story or two story single family detached house. Height will generally be limited by solar envelope regulations rather than maximum height. The primary residence is expected to be over 1800 sf.

Unless otherwise indicated, dimensions are allowed minimums.

A	Lot Depth	150' typical
B	Lot Width	65'
C	Front Setback	25' min. 30' max.
D	Porch Depth	6' min. 10' max.

Porches are required to span at least 50% of the length of the front façade of the house.

E.	North Side Setback	5' min.
F.	South Side Setback	20' min.
G.	Side Street Setback	10' min.

At corner lots

H	Garage Depth	28'
I	Garage Width	26'
J	Garage North Side Setback	3' min.
K	Garage South Side Setback	24'
L	Garage Rear Setback	25' 14' On corner lots
M	Primary Bldg. Height Limit	30'
	Buildings must fit in solar envelope.	See Diagrams.
M <sup>2</sup>	Tower less than 200 s.f. area	35'

N	Garage/ Accessory Unit Height	24' max
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O	Height of house ground floor	18"-36"
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P	Protected Solar Envelope	18'-5"
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The structure must fit under a plane which slopes up 27.5° from horizontal along a bearing perpendicular to the northerly property line, from a height 18.5' above grade at the northerly property line. Ten linear ft. of structure, at least fifteen feet from the northerly property line may extend through this plane.

Accessory Dwelling Units allowed. Maximum size to be 800 s.f.

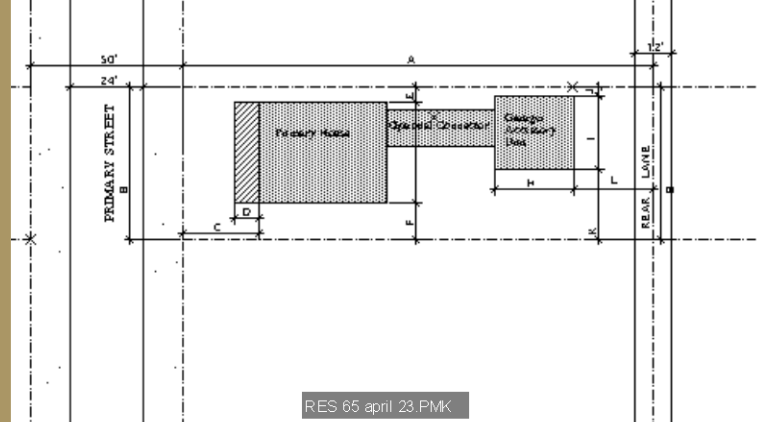
Building Entrances:

A Primary pedestrian entrance shall be located along and facing onto the primary public street, a walkway or a park.

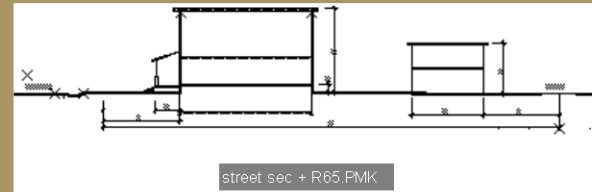
Fencing:

A fence 30"-40" in height is permitted along the street frontage and along common lot lines.

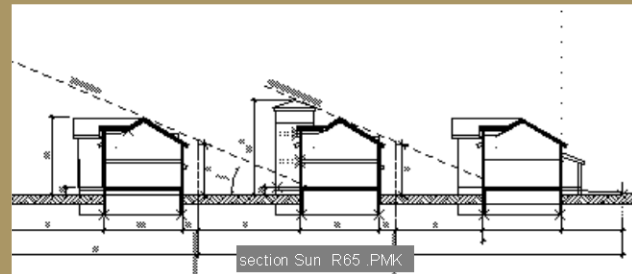
Privacy fencing up to 60" may be placed on property lines behind the front setback line and along the rear lane.



RES 65 april 23.PMK



street sec + R65.PMK



section Sun R65 .PMK



# Boulevard



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# DEVELOPMENT STANDARDS

## LOT STANDARDS- RES BOULEVARD

The Boulevard house is designed to be a larger custom two story or a two-and-a-half-story or single family detached house. These houses are designed to have simple, elegant well proportioned two story front elevations creating a street wall to the public spaces of the boulevard.

Unless otherwise indicated, dimensions are allowed minimums.

A	Lot Depth	145' min.
B	Lot Width	75' min.
C	Front Setback	25' min.
	Setback measured to building front.	30' max.
D	Porch Depth	6' min.
	Porch may be built in front of the building line	10' max.
	Porches or trellises are required to span at least 75% of the length of the front façade of the house. On corner lots there shall be a wrap-around porch that extends along each of the intersecting streets for a minimum of 20 feet, measured from the outside corner of the porch.	
E.-F.	Side Setbacks	5' min.
G.	Side Street Setback	10' min.
	Applies only on corner lots	
H	Garage Depth	40' max.
I	Garage Width	38' max.
	Maximum garage size to be 1000 sf.	
J,K.	Garage Side Setback	5'
L	Garage Rear Setback	26'
	Garage setback on corner lots	11'
M	Primary Bldg. Height Limit	35'
	Tower less than 200 s.f. area no height limit.	
N	Garage/ Accessory Unit Height	26' max
O	Height of ground floor (Main House)	18"-36"
P	Protected Solar Envelope	

The primary home, garage or accessory structure shall must fit under a plane which slopes up 20.0° from horizontal along a bearing perpendicular to the north property line, from a height 17 feet above grade at the north property line.

Street trees planted in the right of way shall be deciduous and shall be pruned to allow significant quantities of winter sunlight to penetrate through the branches.

### Q Connector

The primary residence may be extended back to connect to the garage.

Accessory Dwelling Units allowed over the garage.

Maximum size to be 800 s.f.

### Roofs:

Primary roof slopes shall be no less than 7:12 nor greater than 12:12

End roof gables shall be symmetrical.

### Building Entrances:

A Primary pedestrian entrance shall be located along and facing onto the primary public street.

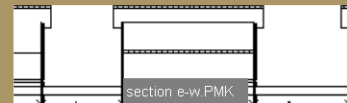
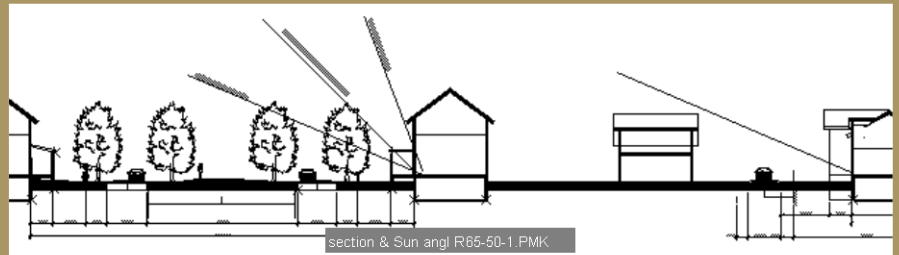
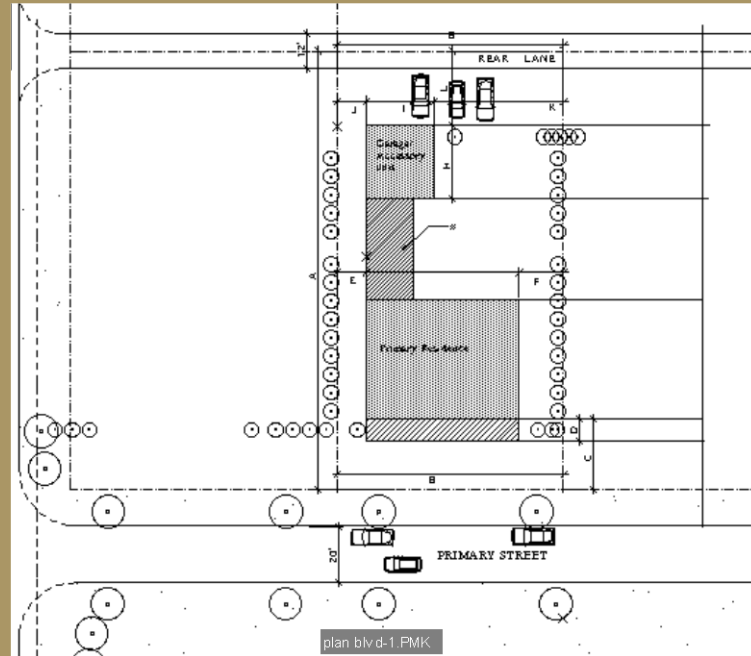
### Front Elevation:

The width of the front elevation shall be at least 80% of the width of the lot at the building line. There shall be no more than 2 corners of the facing on the front elevation. The elevation shall 2 stories for at least 60 of the front elevation. Roof fascia lines and porch balcony or trellis lines shall be at specified elevations.

### Fencing:

Privacy fencing up to 60" may be placed on property lines behind the front setback line and along the rear lane. See fence standards regarding material use and fence design.

## MOUNTAINSIDE VILLAGE DEVELOPMENT STANDARDS BOULEVARD RESIDENTIAL





# Architectural Prototypes



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# Edge



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# ACCESSORY UNITS



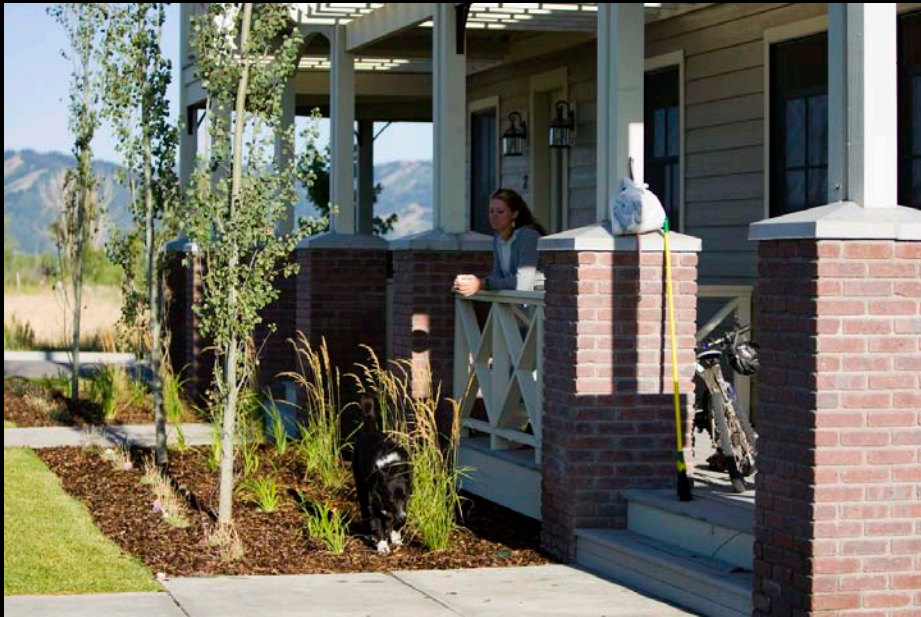
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# MOUNTAIN LODGE



**UP TO 4 UNITS  
WITH PRIVATE ENTRIES IN ONE GRAND STRUCTURE**



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# Flex House / Row House



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# Neighborhood Center



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# Neighborhood Center



# Neighborhood Center



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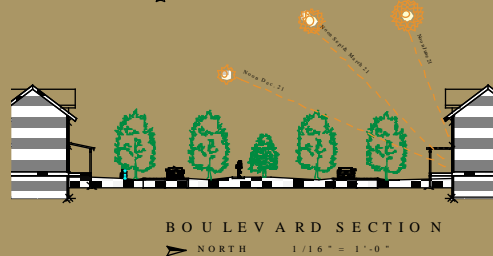
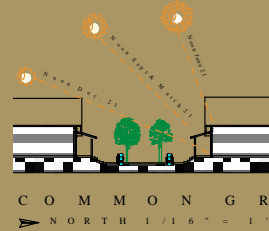
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# Village Pavilion



# DEVELOPMENT STANDARDS





# VILLAGE WAY



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# MOUNTAINSIDE BOULEVARD



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# CREEKSIDE WALK



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# Rear Lane Access



New



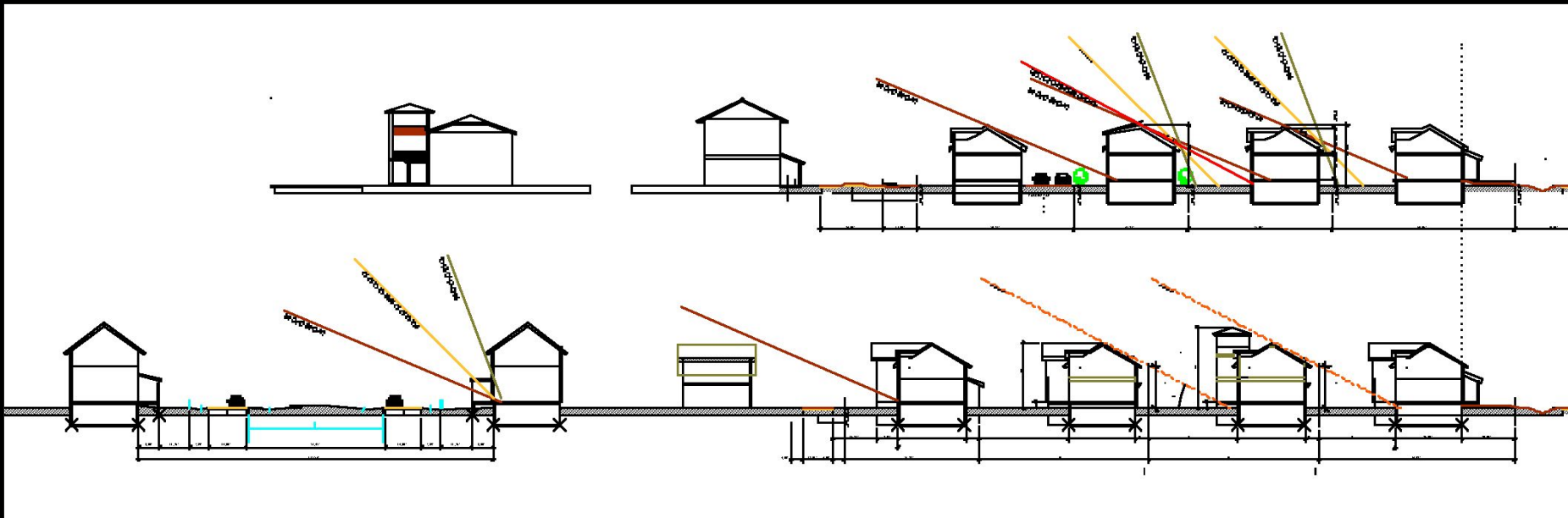
Historic

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# SOLAR ACCESS

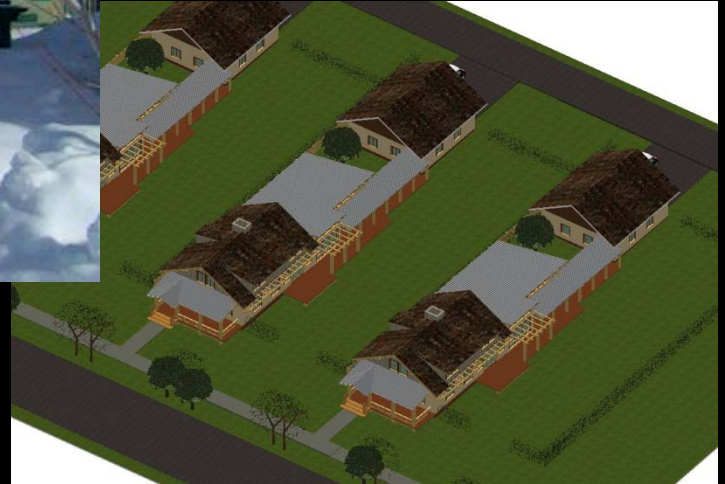


## SUN ANGLES- HOUSE SPACING

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# PRIVACY / SUNLIGHT



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# Private Yards



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# OPEN SPACE NETWORK

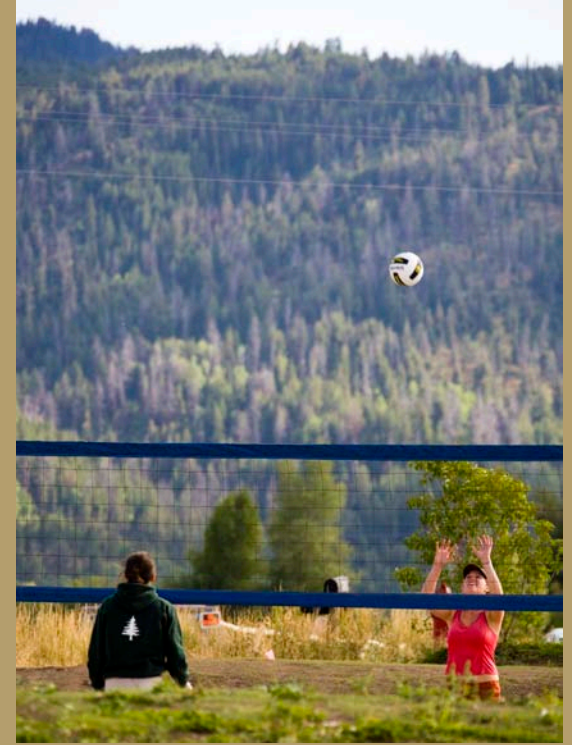
- 
- Common Open Space as Right-of-Way
  - Natural Open Space

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OPEN SPACE PLAN - APRIL 2005



# OPEN SPACE NETWORK



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# OPEN SPACE NETWORK



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## OPEN SPACE NETWORK BLUE FLAX FARM

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# Blue Flax Farm





# Blue Flax Farms





# Blue Flax Farm





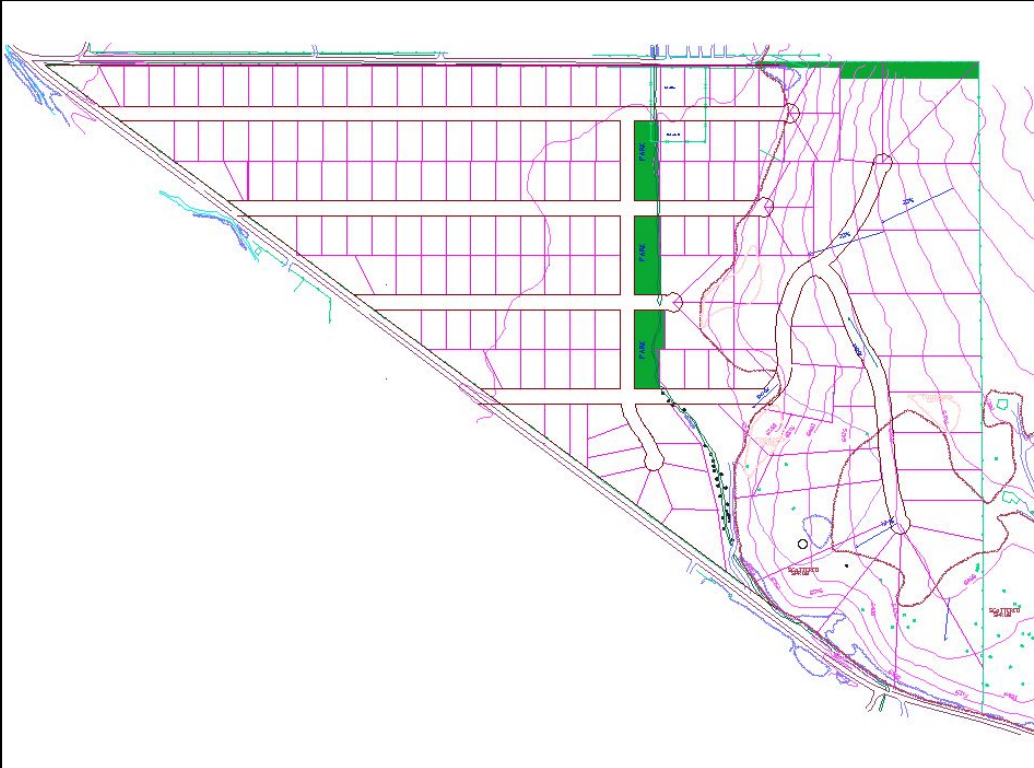
## OPEN SPACE NETWORK

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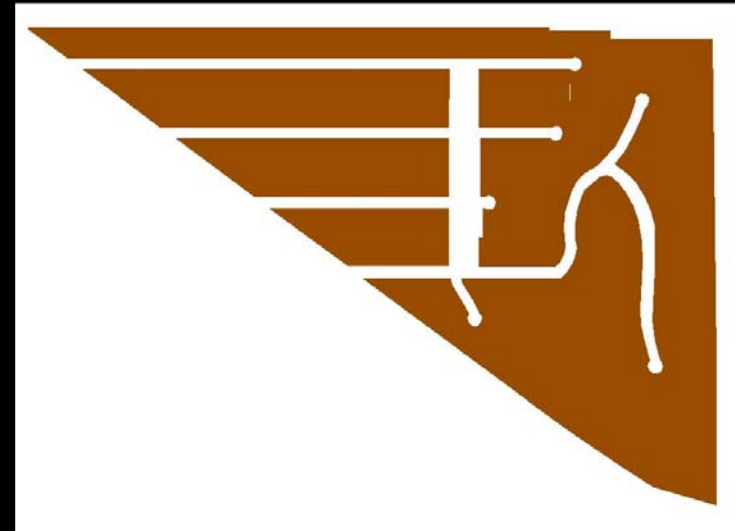


# Conventional Layout



Range of Lot Size  
16,000 SF. To 3 Acres  
 $140 + 34 = 174$  lots

- WASTES LAND
- WASTES HABITAT.
- WASTES ENERGY
- LESS ATTRACTIVE
- HOMOGENIOUS
- LACK OF COMMUNITY

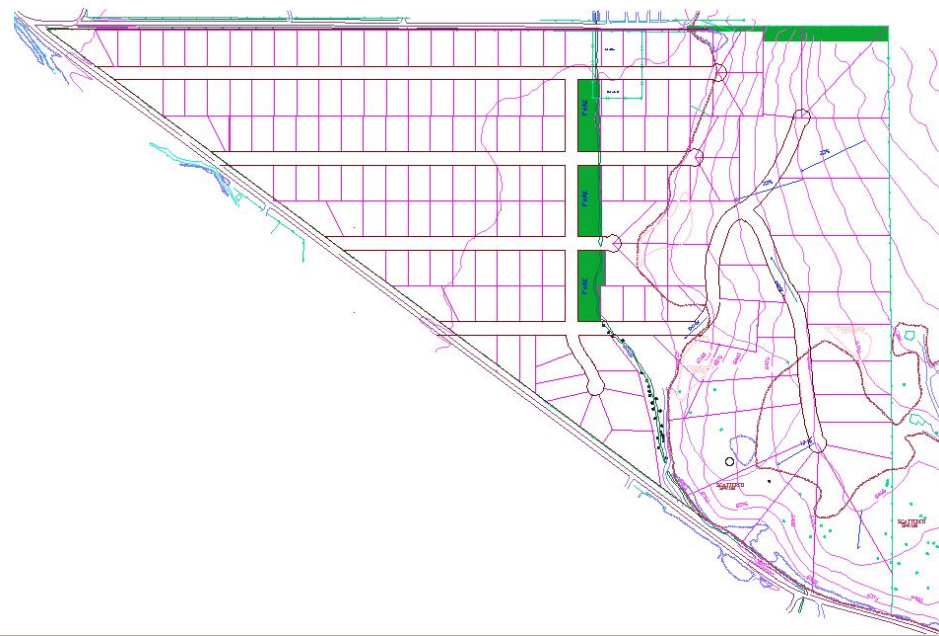
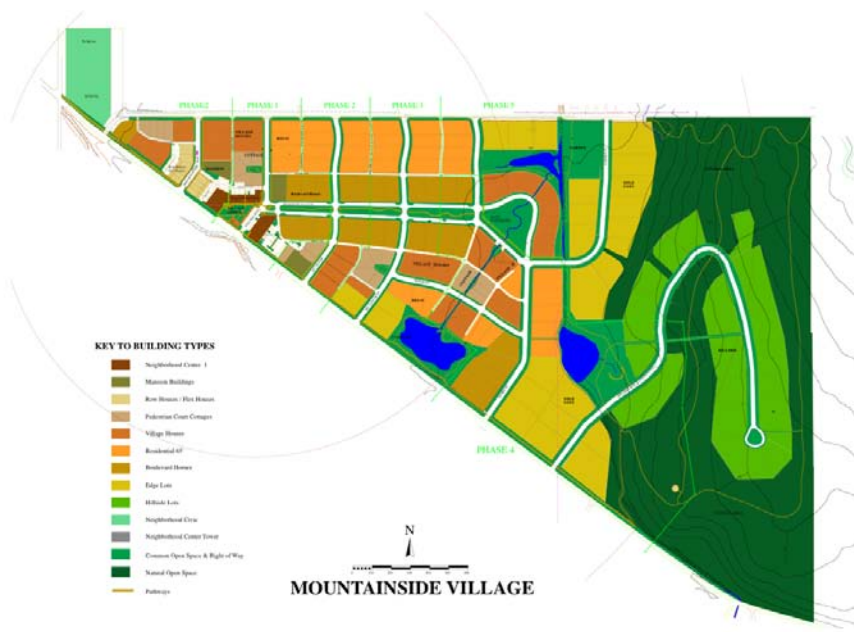


Private Property

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# We Have Choices



Connected open Space Network  
Diverse, well connected street & path networks  
Meets a variety of housing needs.  
Mixed use creates good jobs.  
Pedestrian Friendly  
Adaptable  
Attractive

No open Space Network  
Poorly connected street & path networks  
Limited variety of housing types.  
Minimal creation of jobs.  
Auto Dominated  
Not Adaptable  
Dull



# Preferred Neighborhood Concept



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# WASTE DIVERSION



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# WASTE DIVERSION



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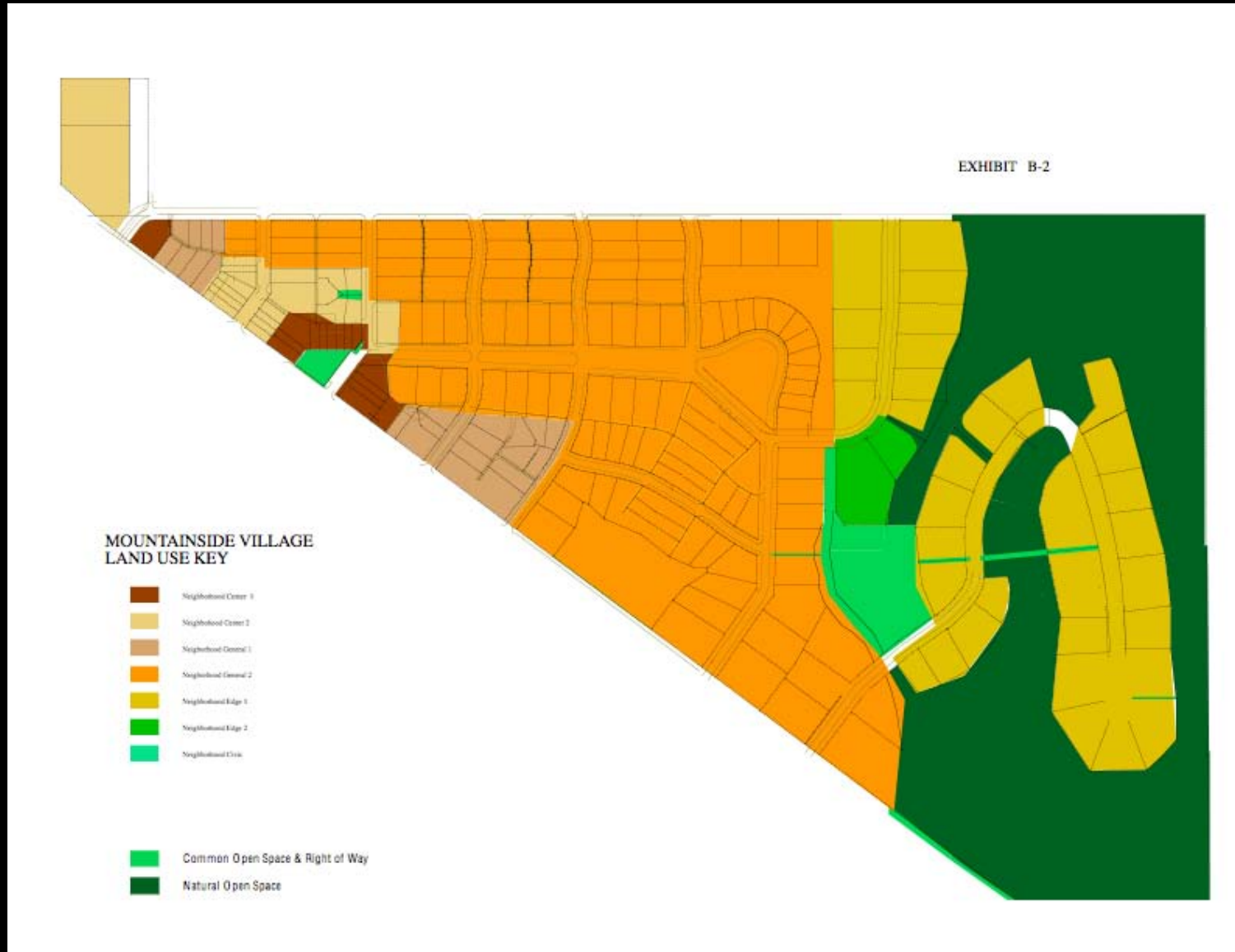
# TRANSECT

MOUNTAINSIDE VILLAGE		LAND USE MATRIX				DRAFT		4-20-2004	
		ZONES							
TRANSECT ZONE		T5	T4	T4	T4	T3	T3	T2	T1/ T2
LAND USE		Neighborhood Center	Neighborhood Center 2	Neighborhood General 1	Neighborhood General 2	Neighborhood Edge	Neighborhood Edge 2	Open Space	Natural Open Space
Residential	Single Family Residential Accessory Residential								
Professional Office	Professional offices Health Care Educational								
Limited Neighborhood Retail	Neighborhood Market Restaurants/ Food Service Small Retail	See Note 1.							
Lodging	Bed & Breakfast Hotel w. food service		See Note 2						
Senior Living	Senior independent & Assisted Living.		See Note 2						
Civic	Educational Religious Community Assembly Greens, Parks, Plaza, Playground								
Community Open Space	Natural Open Space Trails- non motorized Utilities <sup>1</sup>								
Open Space Natural									
ACRES/ZONE		1.7	1.8	3.5	34.9	26.4	1.6	14.7	37.7
% OF WHOLE		1.4%	1.5%	2.8%	28.5%	21.6%	1.3%	12.0%	30.7%
1. Retail limited to ground floor.									
2. Size limited by allowed building type									
3. Utilities will be allowed only in dedicated easements									
4. All special uses are subject to review the Mountainside Village DRC.									

QuickTime™ and a  
TIFF (Uncompressed) decompressor  
are needed to see this picture.



# TRANSECT



# Smart Growth Concepts

- Mix land uses
- Take advantage of compact neighborhood design
- Create a variety of housing opportunities and choices
- Create walkable communities
- Foster distinctive, attractive communities with a strong sense of place & community
- Preserve open space, farmland, natural beauty, and critical environmental areas
- Strengthen and direct development toward existing communities
- Provide a variety of transportation choices, Reduce auto reliance
- Save Energy
- Adaptable to a variety of uses and change over time



# SUSTAINABLE FEATURES *MOUNTAINSIDE VILLAGE*

## VICTOR IDAHO

- **TRADITIONAL NEIGHBORHOOD DESIGN**

- A new node of density is being created contiguous with an existing city, avoiding sprawl
  - Pedestrian friendly, increased transportation options & reduced reliance on automobiles
  - Empowers the young and old as they can walk or bike to desired destinations
  - Mix of uses promotes a strong & sustainable local economy
  - Civic area contains sites for religious & educational structures.
  - 40% Open Space
  - Connected pathway system
  - Variety of housing options.
  - Porches and balconies encourage human interaction.

- **ECOSYSTEM PROTECTION**

- Protected wildlife & riparian habitat & corridors.
  - storm water percolates to maintain pre development hydrological condition

- **FOOD PRODUCTION**

- On site organic community supported agriculture garden (CSA) garden and orchard.

- **PROTECTED SOLAR ACCESS**

- **GREEN BUILDING & LANDSCAPE GUIDELINES**

- Promote conservation of energy and natural resources
  - Promote use of solar energy
  - Conserve water
  - Promote recycling
  - Reduce light pollution
  - Design for human and environmental health

# Community Enhancement

- Mountainside Foundation
- Mountainside Institute
- To support local community needs in
  - arts, education, economic development, resource protection, recreation, community design &.....



# SMART GROWTH

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TIFF (LZW) decompressor  
are needed to see this picture.

# SITE

**A TYPICAL COLD CLEAR WINTER MORNING VIEW FROM MT. GLORY**



**JACKSON HOLE TO THE EAST**



**SUNNY VICTOR VICTOR ID TO THE WEST**

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