

Downtown Ketchum Regulating Code

**Presentation for
Rocky Mountain Land Use Institute**

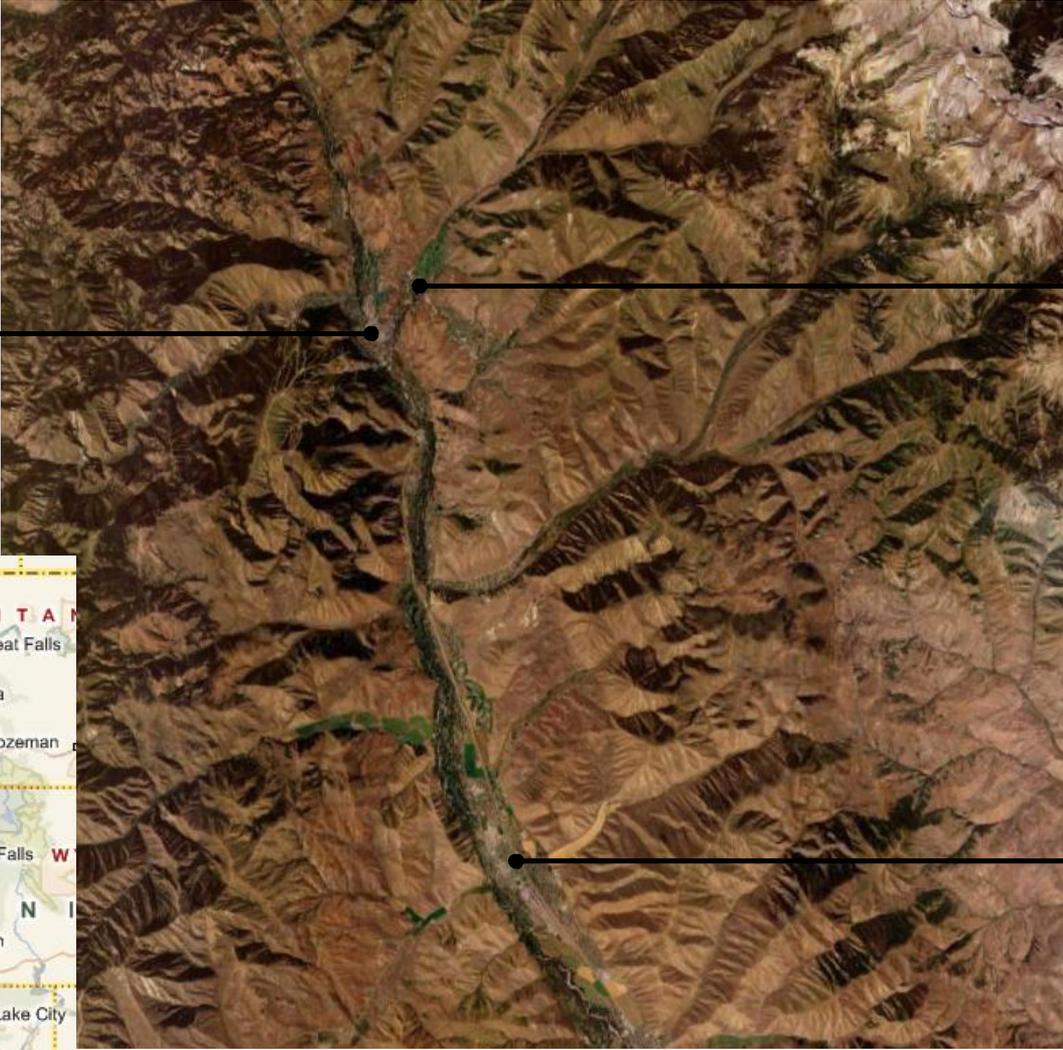


Downtown Ketchum: Regional Context

Ketchum

Sun Valley

Hailey

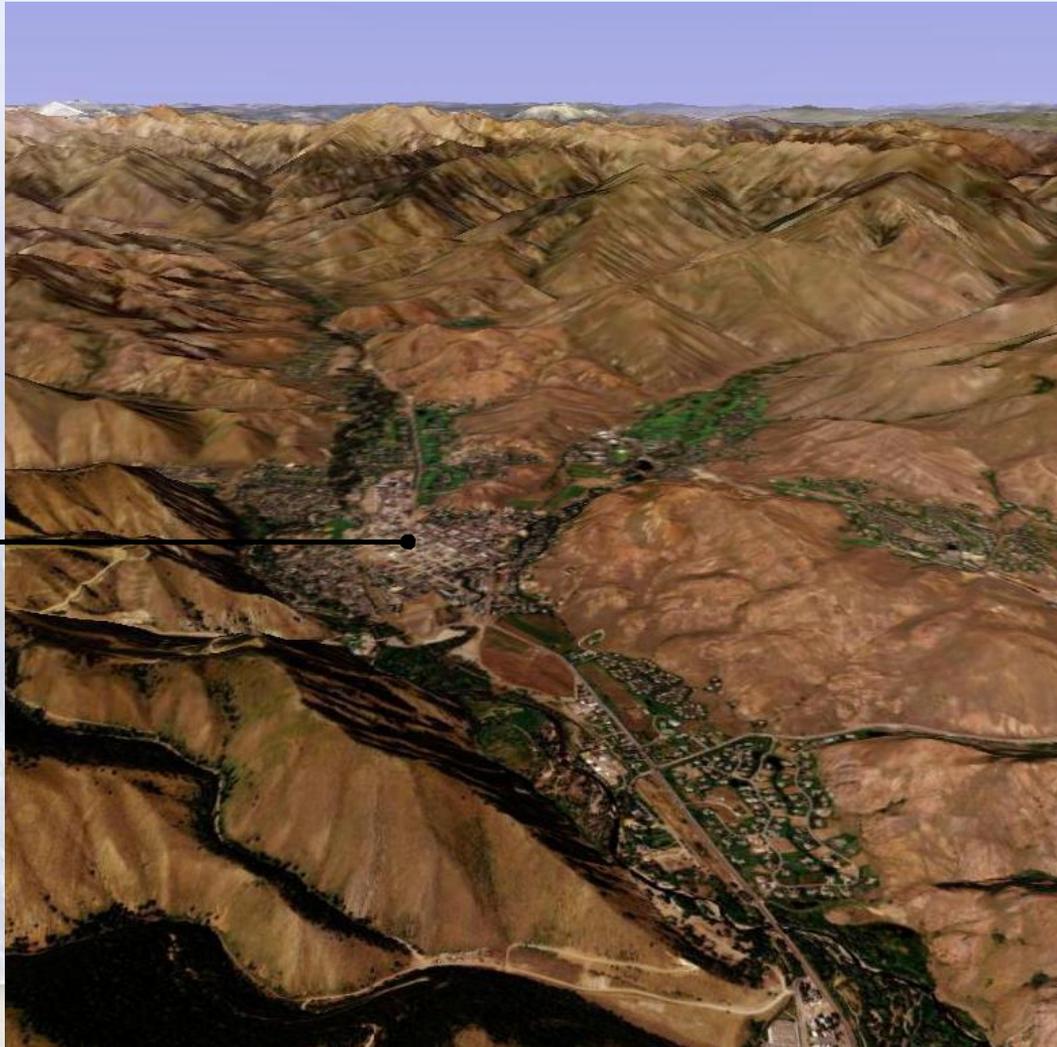


Source: Google Earth



Downtown Ketchum: Regional Context

Ketchum, ID



Source: Google Earth



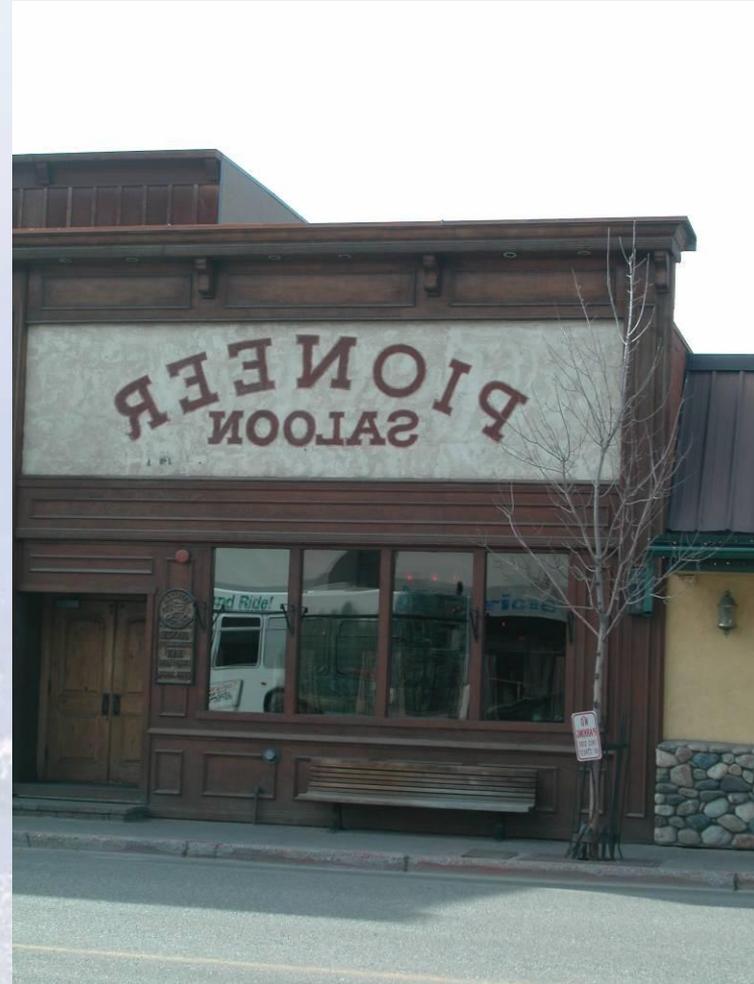
Downtown Ketchum: Local Context



Downtown Ketchum: Local Context



Downtown Ketchum: Local Context



Downtown Ketchum: Local Context



Downtown Ketchum: Local Context



Downtown Ketchum: Challenges

- Very little flat land + Resort Destination = Very Expensive Land
- Wealthy “outsiders” buying 2nd homes: few year round residents
- Development Pressure for homes with views



sources



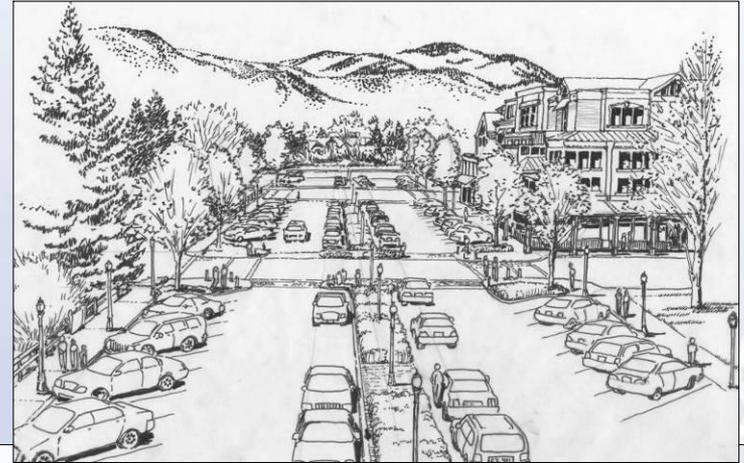
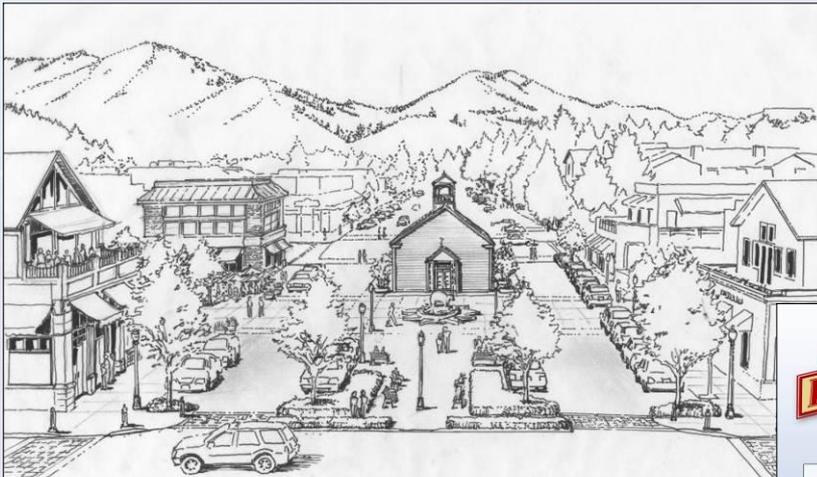
Community-Based Planning Process

“The people will support that which they help create”



Community-Based Planning Process

- Design Charrette Week



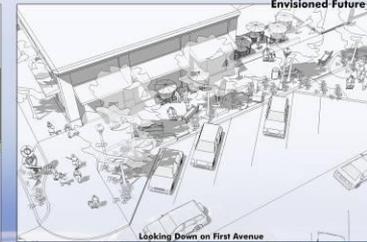
Downtown Ketchum Prototypical Block Pattern Sheet: Quadrant 3: First Avenue Arts Promenade

DESCRIPTION:
Quadrant 3 is envisioned as a diverse district that leverages the character of the existing built environment to influence new market-responsive development as well as to preserve important clusters of traditional Ketchum buildings. The prototypical block presented for this quadrant encompasses First Avenue between Third Street and Fourth Street. The streetscape will be designed as an arts promenade and will place a strong emphasis on pedestrian comfort, public art, and botanical gardens. Sidewalks will be widened to accommodate a range of activities and programs, including window shopping, outdoor dining and seating, botanical plantings, and public art. On-street parking will be provided to create a buffer between the pedestrian sidewalk and the public realm.

Street Cross Section: First Avenue



Envisioned Future



Block Perspective: First Avenue



Plan View Concept



Streetscape Furniture Palette



Downtown Quadrant Location



Prototypical Block Location

Community-Based Planning Process

- Design Charrette
- Master Plan Framework



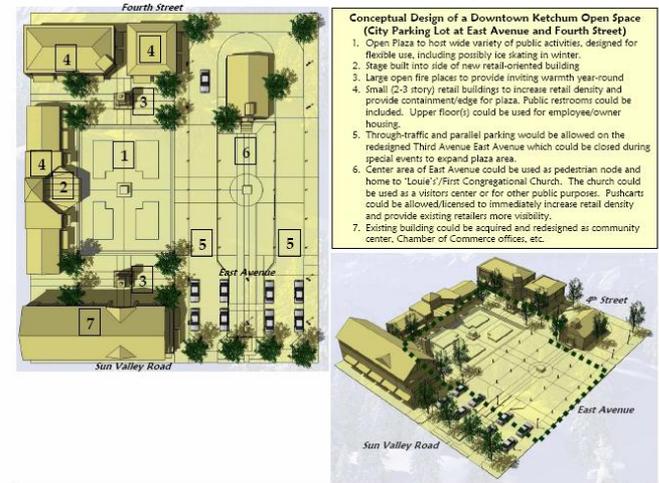
Downtown Ketchum Master Plan Framework

Prepared for the City of Ketchum, Idaho

January, 2006



By The Hudson Company in association with Urban Design Studio

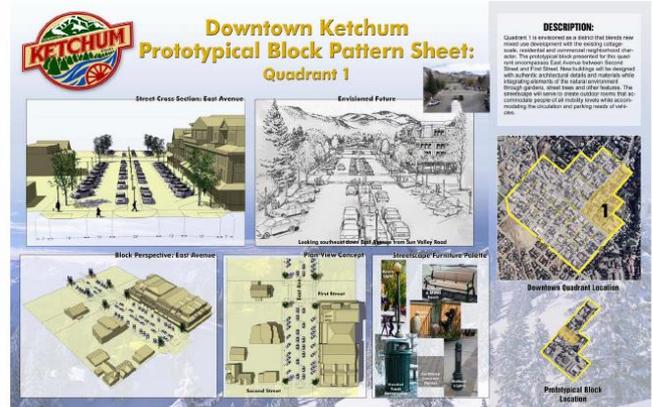


- Conceptual Design of a Downtown Ketchum Open Space (City Parking Lot at East Avenue and Fourth Street)**
1. Open Plaza to host wide variety of public activities, designed for flexible use, including possibly ice skating in winter.
 2. Stage built into side of new retail-oriented building.
 3. Large open fire places to provide inviting warmth year-round.
 4. Small (2-3 story) retail buildings to increase retail density and provide containment edge for plaza. Public restrooms could be included. Upper floor(s) could be used for employee/owner housing.
 5. Through-traffic and parallel parking would be allowed on the redesigned Third Avenue East Avenue which could be closed during special events to expand plaza area.
 6. Center area of East Avenue could be used as pedestrian node and home to 'Louie' First Congregational Church. The church could be used as a visitors center or for other public purposes. Pushcarts could be allowed/licensed to immediately increase retail density and provide existing retailers more visibility.
 7. Existing building could be acquired and redesigned as community center, Chamber of Commerce offices, etc.

Downtown Ketchum Master Plan Framework

Page 30

Connecting Economics, Design, and Community Values: The pattern sheets for each of the demonstration blocks on the next four pages contain: Quadrant Location Map; Demonstration Block Location Map; Plan View Placemaking Concept; Blockface Elevation Concept; Street Section; Perspective Concept; Recommended Streetscape Palette



Downtown Ketchum Master Plan Framework

Page 37

Community-Based Planning Process

- Design Charrette
- Master Plan Framework
- Design Fest



Community-Based Planning Process

- Design Charrette
- Master Plan Framework
- Design Fest
- Vision Poster
- Downtown Master Plan

Promotion

Organization

**VITAL
DOWNTOWN
KETCHUM**

Economic
Restructuring

Design



Community Based Planning Process

- Design Charrette
- Master Plan Framework
- Design Fest
- Vision Poster
- Downtown Master Plan
- Form-Based Regulating Code



Why a Form-Based Code

- Great need for certainty
- Seeking more visual direction for building design
- Implement the Downtown Vision
- Show how affordable housing can be accommodated in attractive buildings
- Public Improvements: Streets and Plazas



Organization of Draft Form-Based Code:

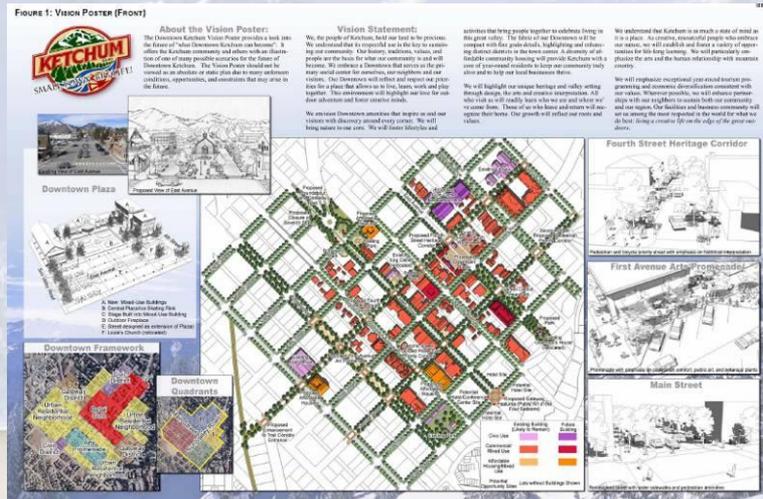
- Section 1: Introduction
- Section 2: Downtown Land Uses
- Section 3: Downtown Regulating Plan and Building Types
- Section 4: Design Regulations and Guidelines
- Section 5: Administration of the Regulating Code
- Section 6: Definitions



Organization of Draft Form-Based Code:

Section 1: Introduction:

- Downtown Master Plan
- Intent of the Regulating Code
- User's Guide



Downtown Regulating Code

Section 1: Introduction

B. INTENT OF THE REGULATING CODE

This Regulating Code is developed as a tool to facilitate the implementation of the community-based vision for Downtown Ketchum. The Regulating Code applies to all properties within Downtown Ketchum (refer to Figure 2: Properties within Downtown Ketchum).

This Regulating Code shall only be pre-empted by a previously adopted local, state, or federal code or ordinance (such as the Building, Plumbing, Electrical, or Mechanical Codes) when it is absolutely necessary to insure public health, welfare, or safety. Should any conflict arise between the provisions of the Regulating Code and the City of Ketchum Zoning Ordinance (Title 17 of the Ketchum Municipal Code), the provisions of this Regulating Code shall apply unless a provision from the Zoning Ordinance is required to ensure public health, welfare, or safety. Interpretation of the standards in the Regulating Code shall be the responsibility of the City of Ketchum Planning and Zoning Department.

C. USER'S GUIDE

The Regulating Code for Downtown Ketchum introduces a new, innovative approach to downtown development in the City of Ketchum and the Wood River Valley. The following steps will help users of the Regulating Code understand the development review and approval process.

Step 1: Review the Ketchum Downtown Master Plan (a separate document), including the Vision Poster (refer to Figure 1), to gain an understanding of the overall vision and program for Downtown Ketchum. The vision plan is intended to demonstrate the desires of Downtown Ketchum, but is for illustrative purposes only. A full-sized version of the Vision Plan is available for review at:

City of Ketchum
Planning and Zoning Department
P.O. Box 2315
480 East Avenue
Ketchum, ID 83340

Step 2: Turn to Section 2: Downtown Land Uses, to determine the types of uses that are permitted, permitted with conditions, and prohibited within the Downtown. If the desired use is prohibited, refer to the City of Ketchum Zoning Ordinance to identify other zones within the City where the use could be established.

Step 3: Turn to Section 3, Downtown Regulating Plan and Building Types, to identify the Regulating Zone of the subject project site (refer to Figure 3: Downtown Regulating Plan). Identify the types of buildings that are permitted within the Regulating Zone of the site.

Step 4: Review the Development Specifications of the building types permitted within the Regulating Zone (refer to Figures 4 through 9). The specifications on these figures deal with site layout, mass and height, façade elements, and location of uses within the building. Based on the specifications, determine which building type is best suited to meet individual project goals and objectives.

Step 5: Turn to Section 4, Design Regulations and Guidelines, to review additional design regulations and guidelines that are applicable to your project. The regulations within Section 4 supplement the Development Specifications outlined in Section 3. The Design Regulations in Section 4 deal with more specific details related to building and site design, while the Development Specifications in Section 3 deal with general form and function. Design guidelines are also provided in Section 4 to further define the desired image and character of development in Downtown Ketchum.

Step 6: Turn to Section 5, Administration of the Regulating Code, to gain an understanding of how this Regulating Code will be administered. Included in this section is an overview of the review and approval process for Downtown projects.

Organization of Draft Form-Based Code:

Section 2: Downtown Land Uses

- Introduction
- Land Use Table
- Sidewalk Uses

**Table 1:
Permitted Land Uses within Downtown Ketchum**

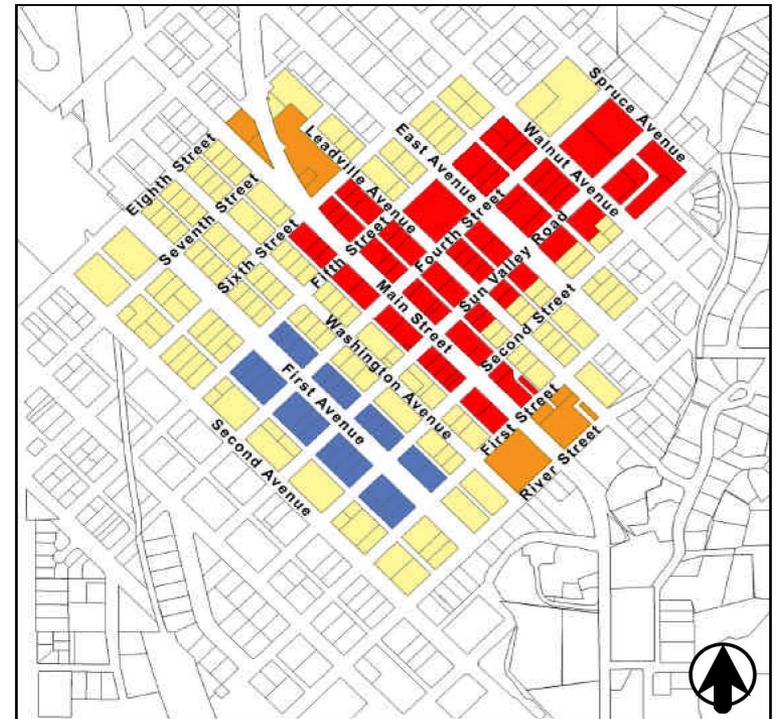
Use	Prohibited Use	Permitted Use	Permitted Use with Approval of CUP
Retail/Service Uses:			
Mercantile		X	
Grocery store			X
Personal service establishments		X	
Restaurants, bars, cafes		X	
Bakeries and delis		X	
Art galleries		X	
Bank drive-thrus: a maximum of 5 bank drive-thrus are allowed.			X
Drive-thrus for all uses other than banks	X		
Indoor entertainment, recreation, and cultural uses		X	
Service stations (auto repair, gas station, etc.)	X		
Day care center		X	
Mortuary			X
Lobby/access to upper/lower floors		X	
Making of goods in conjunction with retail provided that it does not create noise, odor, dust, fumes, or require outside storage		X	
Office Uses:			
Professional office		X	
Medical/dentist Office		X	
Office within a Multifamily Home Building or Urban Residential Building (either connected or not connected to a residential unit)			X
Residential Uses:			
Single family dwelling	X		
Apartments/condominiums		X	
Condominiums within a hotel	X		
Assisted living facility			X
Home occupations and artist studios within a residential unit		X	
Lodging Uses:			
Hotel/motel		X	
Time share units to a hotel/motel (no more than 25% of the combined floor area of guest rooms shall be time share units)		X	
Public/Semi-Public Uses:			
Civic center (government offices)		X	
Post office		X	
Hospital, church, or school			X
Parks, recreation, plazas, cultural uses		X	
Outdoor Uses on Private Property:			
Outdoor dining		X	
Outside displays of merchandise			X
Outdoor entertainment			X
Other Uses:			
Manufacturing/Industrial/Warehouses/Outdoor Storage Uses	X		
Adult-only businesses	X		
Accessory use to a permitted use identified above		X	
Curb cuts/driveway access from streets (excluding existing alleys)			X
Other uses that are similar to those permitted (or permitted with a use permit) above, as determined by the Planning Director		X	X

Organization of Draft Form-Based Code:

Section 3: Regulating Plan and Building Types

- Regulating Plan
- Building Types
- Development Specifications for Building Types
- Civic Buildings

Figure 3: Regulating Plan



Zone A:	Zone B:	Zone C:	Zone D:
Building Types Allowed: <ul style="list-style-type: none">▪ Traditional Mixed-Use Building▪ Hotel Building	Building Types Allowed: <ul style="list-style-type: none">▪ Neighborhood Mixed-Use Building▪ Mixed-Use Building with Cellar	Building Types Allowed: <ul style="list-style-type: none">▪ Traditional Mixed-Use Building	Building Types Allowed: <ul style="list-style-type: none">▪ Neighborhood Mixed-Use Building▪ Urban Residential Building▪ Multifamily Home Building▪ Mixed-Use Building with Cellar

Organization of Draft Form-Based Code:

6 Building Types:

- Traditional Mixed-Use



Organization of Draft Form-Based Code:

6 Building Types:

- Traditional Mixed-Use
- Neighborhood Mixed-Use



Organization of Draft Form-Based Code:

6 Building Types:

- Traditional Mixed-Use
- Neighborhood Mixed-Use
- Multifamily Home



Organization of Draft Form-Based Code:

6 Building Types:

- Traditional Mixed-Use
- Neighborhood Mixed-Use
- Multifamily Home
- Urban Residential



Form-Based Code Example: Ketchum, ID:

6 Building Types:

- Traditional Mixed-Use
- Neighborhood Mixed-Use
- Multifamily Home
- Urban Residential
- Hotel



Organization of Draft Form-Based Code:

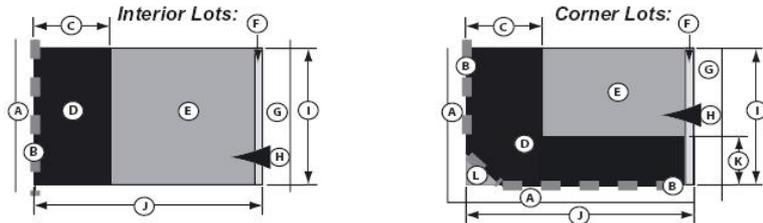
6 Building Types:

- Traditional Mixed-Use
- Neighborhood Mixed-Use
- Multifamily Home
- Urban Residential
- Hotel
- Mixed-Use Building with Cellar



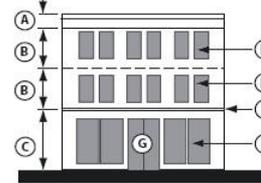
Development Specifications:

Site Specifications:



- A: Sidewalk
- B: Build-to-Line (BTL): A building facade shall be built along all property lines (at a 0' setback) that are adjacent to a street. Storefronts, building entrances, and upper floor balconies may be recessed into the facade. Up to 50% of the BTL may be setback to create a courtyard or plaza.
- C: Minimum building depth of 20' as measured from the BTL.
- D: Building Zone: 100% of this zone shall be occupied by one (or more) building(s). If an entire block is developed with this building type, the building zone shall extend along all four streets (excluding driveway/alley access points).
- E: Rear Multi-Functional Zone: Zone may be occupied by building, rear yard, courtyard, plaza, parking lot, and/or loading/unloading zones.
- F: Setback Zone: A 3' building setback is required from all alleys. No other setbacks are required.
- G: Alley
- H: Access to parking and loading/unloading facilities shall be provided by the alley. Driveway access from a street may be permitted with the approval of a Conditional Use Permit. If approved, the maximum width of the driveway shall be 20'. The center line of all driveways shall be at least 30' from an intersection.
- I: Minimum Lot Width: 55'. All side yard property lines shall be perpendicular to the street.
- J: Minimum Lot Depth: 100'
- K: Minimum building depth of 12' as measured from the BTL.
- L: Building Corner: The BTL at the building corner adjacent to the intersection may be angled, curved, or recessed, but only if a building entrance is created at the corner.

Facade Specifications:



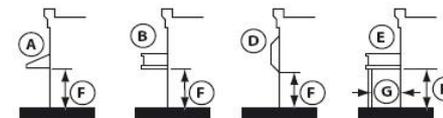
The following specifications apply to all facades that front a street, park, and/or plaza.

- A: Building Cap or Roof: The top of the building shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: A horizontal design element is required to differentiate between the ground floor and upper floors. Examples include a cornice line, awning, balcony, or change in the building material.
- E: Upper Floor Window Fenestration: 30% to 70% of each upper floor facade shall be occupied by windows/doors. This specification does not apply to floors where sloped roofs and dormer windows are used.
- F: First Floor Window Fenestration: 60% to 90% of each first floor facade shall be occupied by transparent windows/doors.
- G: Entry Door: At least one entry door is required for each business with ground floor street frontage.

Prohibited Facade Elements:

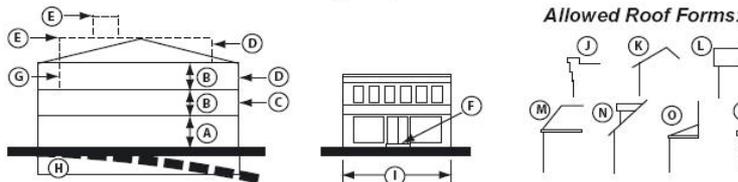
- A: External chimneys, external staircases, garage doors, window security bars, and security roll-up doors are prohibited on facades that front a street, park, and/or plaza.

Allowed Projecting Facade Element:



- A: Awnings/Marquees may project 3' to 6' from the facade.
- B: Balconies/Decks may project up to 6' from the facade.
- C: Projecting Signs may project up to 4' from the facade. The area of the sign face shall not exceed 10 square feet. Only one projecting sign per ground floor business is permitted.
- D: Bay windows may project up to 3' from the facade.
- E: Colonnades (supporting either a shed roof or balcony) may project up to 6' from the facade. Supporting posts shall have a diameter or square width between 6" to 12".
- F: 8' minimum clearance.
- G: 5' minimum clearance (from inside of post/column to facade).

Mass/Height Specifications:



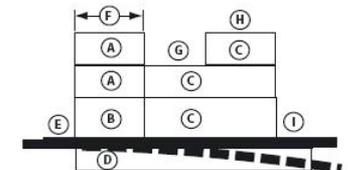
- A: First Floor Ceiling Height: 12' to 15'
- B: Upper Floor Ceiling Heights: 8' minimum and up to 80% of the height of first floor ceiling.
- C: Minimum Number of Floors: 2
- D: Maximum number of Floors: 3. A 4th floor is permitted if the building is using transfer of development rights or if all upper floor uses are exclusively affordable residential units. The 4th floor shall stepback from streets/alleys by at least 10'.
- E: Maximum Building Height: 48'. A stairway/elevator shaft providing access to a roof garden may exceed the maximum height by up to 10' as long as it has a stepback of at least 20' from streets and alleys.
- F: At building entrances, the elevation of the ground floor shall be within 0" to 12" above the adjacent sidewalk grade.
- G: Stepbacks from the BTL are allowed on the third floor.
- H: Multi-level basements are allowed.
- I: Building Width: 16' minimum and 55' maximum. A single building on a lot wider than 55' is permitted if it is designed to look like multiple buildings. Each segment of the building shall have a maximum width of 55'.
- J: Flat Roof with Parapet or Cornice
- K: Hip Roof
- L: Gabled Roof
- M: Full Mansard Roof
- N: Dormers
- O: Shed Roof: Only allowed where building stepbacks occur.
- P: Appropriate combinations of the above roof forms

Figure 4: Development Specifications for Traditional Mixed-Use Building

Example Photographs:



Use Specifications:



- A: Upper Floor with Street Frontage: All uses as permitted by Table 1 are allowed. Structured parking is allowed.
- B: Ground Floor with Street Frontage: All Retail/Service uses as permitted by Table 1 are allowed. Parking is prohibited.
- C: Floors without Street Frontage: All uses as permitted by Table 1 are allowed. Structured parking is allowed.
- D: Basement: Parking and storage for on-site uses are allowed. Additional space for a permitted ground floor use is also allowed.
- E: Sidewalk: Outdoor uses as permitted by a Sidewalk Use Permit.
- F: Minimum Depth of Street Frontage Uses: 20' as measured from the front facade. On a corner building, the depth shall be 12' from the side facade adjacent to the street.
- G: Outdoor Residential Open Space: If the building has residential uses, then outdoor residential open space is required. These spaces may occur on any level of the building, including the roof. The total area of required open space shall equal 25% of the lot's total area. The minimum size of any one space shall be at least 450 square feet with no dimension less than 20'. These spaces shall be open to all of the residents within the building (i.e., they are not private outdoor spaces).
- H: Roof Gardens (private and public) are allowed.
- I: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located to the rear of the building and shall be screened from public view. Utility meters are allowed in the setback zone if they are enclosed within a utility box.

Organization of Draft Form-Based Code:

Section 4: Design Regulations and Guidelines:

Downtown Regulating Code Section 4:
Design Regulations and Guidelines

Design Guidelines

DG.A-1: Limit the number of building materials used on the facade. As a general rule, use no more than 3 different types of materials on a single facade.

DG.A-2: Materials that are consistent with local vernacular architecture, as well as those that are indigenous to the region are desired. Appropriate building materials that are encouraged on facades as primary materials include:

- Brick (in an unplazed finish and earth tone)
- Painted or stained lap horizontal siding and vertical board and batten wood siding
- Painted, stained, or natural finish shingles
- Stained or natural finish wood logs
- Wrought iron
- Hardie Board
- Finished and painted wood trim
- Wood aluminum, copper, steel, and vinyl clad wood frames for windows and doors
- Wood, metal, and glass doors

Secondary materials should generally be limited to no more than 30% of a facade. Secondary materials include:

- Heavy lumber
- Plaster or stucco
- Rustic masonry block
- Corrugated metal that is non-reflective
- Natural stone or river rock

DG.A-3: Inappropriate building materials that are discouraged on facades include:

- Plywood
- Hardboard
- Unfinished lumber
- Corrugated fiberglass
- Vinyl or lap aluminum siding
- Sheet metal or tin siding
- Textured T-11 siding
- Reflective materials
- Manufacture building materials (other than Hardie Board) that are intended to simulate natural products/materials

Examples of appropriate building materials on facades:



City of Ketchum Page 4-4

Downtown Regulating Code Section 4:
Design Regulations and Guidelines

A. ALL BUILDING FACADES

Design Regulations:

DRA-1: Facades shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and glass curtain walls. Blank walls on all facades that front a park, street alley, plaza, or other public spaces are prohibited.

DRA-2: On all facades, a clear visual distinction between each floor shall be provided.

DRA-3: Stairways shall have a design that is compatible with overall structure. Stairs shall not have a tacked-on appearance or look like their design was an add-on or afterthought.

DRA-4: All sides of the facade shall be designed with similar architectural elements, materials, and colors in the front facade. However, the design of side and rear facades may be simpler, more casual, and more utilitarian in nature.

Blank walls and facades that do not clearly delineate each floor of the building are prohibited.

Appropriate relationship between front facade (above) and rear facade (below). The rear facade has similar materials and treatments, but the design is more utilitarian and less formal.



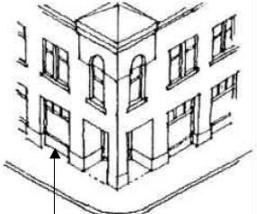

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Downtown Regulating Code Section 4:
Design Regulations and Guidelines

DG.B-5: The ground floor of buildings facades should be divided into structural bays for storefront openings. The width of the structural bay or the storefront should not exceed its height.

DG.B-6: Elements of traditional "Main Street" storefronts are encouraged. These elements include the recessed entry door(s), display windows, the kickplate or bulkhead, and transom windows.

DG.B-7: Storefronts should be recessed into the wall plane by at least 6 inches and should be framed by building piers or columns and a cornice or horizontal expression line.



Structural bays for storefronts




Diagram labels:

- Cornice or horizontal expression line
- Transom Windows
- Display Windows
- Kickplate or Bulkhead
- Recessed Entry Door(s)
- Storefront recessed into wall plane by at least 6 inches
- Building piers, columns or posts

City of Ketchum Page 4-8

Organization of Draft Form-Based Code:

Section 4: Design Regulations and Guidelines:

Downtown Regulating Code Section 4:
Design Regulations and Guidelines

DR.U-8: All streetlights, streetscape furniture and amenities shall be consistent with a City approved list of approved furniture.

DR.U-9: Streetlights shall be scaled to pedestrians and shall be no taller than 14 feet.

DR.U-10: Streetlights shall be equipped with hardware to allow flowerpots and banners to hang from the streetlight. At least 7 feet of vertical clearance shall be provided from the sidewalk to the bottom of the flowerpot or banner.

DR.U-11: Community organizations are allowed to hang banners from public streetlights with the approval of a sidewalk use permit. The Planning Director shall approve all banners that are hung from public streetlights. The Ketchum Streets Department shall be responsible for hanging all streetlight banners. The City reserves the right to charge a fee for the banners.

DR.U-12: All new public sidewalks shall be heated to facilitate the removal of snow.

DR.U-13: All sidewalks shall be constructed of concrete pavers. Special paving features may be allowed on the sidewalks of unique streets within the Downtown, such as Fourth Street and First Avenue.

DR.U-14: The project applicant shall be required to pay for new sidewalk, curbs, and gutters within the public right-of-way adjacent to the project site when the value of construction exceeds \$20,000.

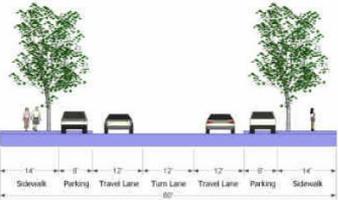



Concrete pavers to be used on Downtown Sidewalks.

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Downtown Regulating Code Section 4:
Design Regulations and Guidelines

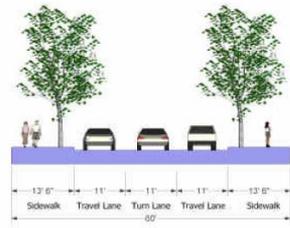
DG.U-10: Main Street will be designed to balance the movement of north-south through traffic with an enhanced pedestrian environment. Main Street is not a recommended bicycle route. Main street will be reduced to two travel lanes (one in each direction) and a center left turn lane.



14' 8' 12' 12' 12' 8' 14'
Sidewalk Parking Travel Lane Turn Lane Travel Lane Parking Sidewalk
60'

Main Street
Right-of-Way Width: 80 Feet
Design Speed: 25 MPH
Travel Lanes: Three Lanes (one in each direction with continuous center turn lane)
Lane Width: 12 Feet
Curb Type: Raised
Typical Sidewalk Width: 14 Feet
Parking Layout: Parallel both sides (8 feet)
Bicycle Facilities: None
Bus Stop Turnouts: Between River Street and First Street and between Fourth Street and Fifth Street.
Street Tree Spacing: 30' intervals

DG.U-11: Sun Valley Road will function as a main vehicular route that provides primary access to Downtown Ketchum from Sun Valley. Sun Valley Road is not a recommended bicycle route.



13' 6" 11' 11' 11' 13' 6"
Sidewalk Travel Lane Turn Lane Travel Lane Sidewalk
60'

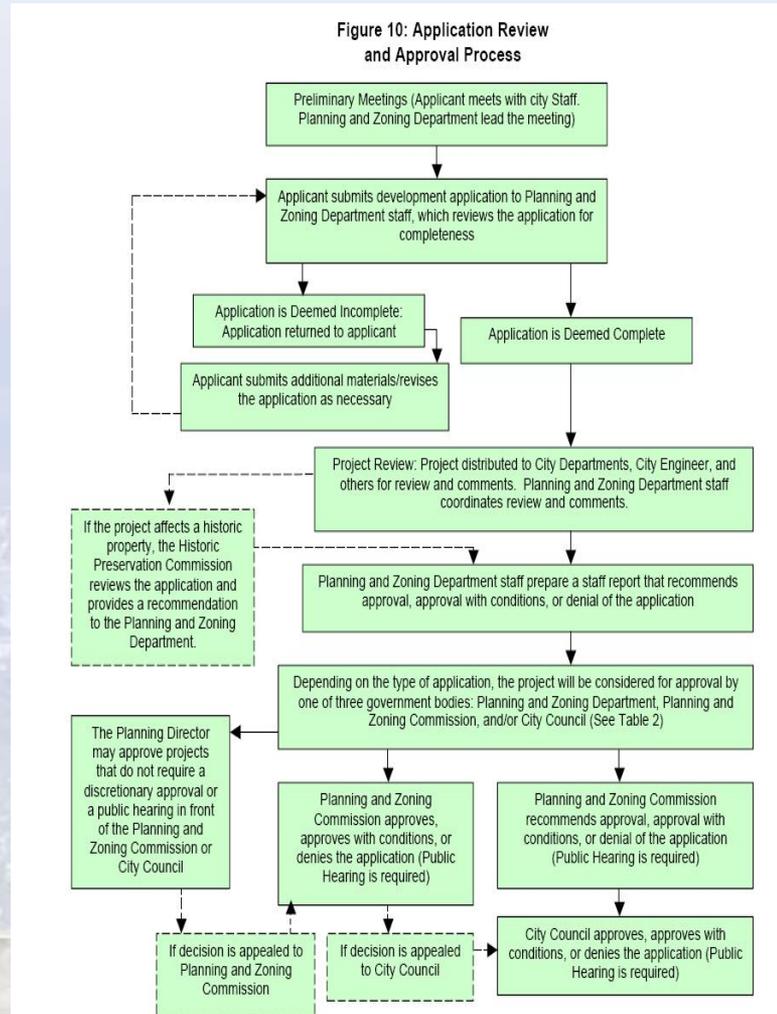
Sun Valley Road
Right-of-Way Width: 60 Feet
Design Speed: 25 MPH
Travel Lanes: Three Lanes (one in each direction with continuous center turn lane)
Lane Width: 11 feet travel, 12 feet turn lane
Curb Type: Raised
Typical Sidewalk Width: 13.5 Feet
Parking Layout: None
Bicycle Facilities: None
Bus Stop Turnouts: Between East Avenue and Walnut Avenue
Street Tree Spacing: 30' intervals

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Organization of Draft Form-Based Code:

• Section 5: Administration



Organization of Draft Form-Based Code:

• Section 6: Definitions:

SECTION 6: DEFINITION

Section 17.08 (Definitions) of the City of Ketchum Zoning Ordinance shall apply to this Regulating Code. In addition to the definitions in Section 17.08 of the Zoning Ordinance, the following definitions are provided for additional words and terms used in this Regulating Code. If a word or phrase is not defined, then the word or phrase shall be defined as set forth in any recognized treatise or authority on zoning, planning, or architecture. A dictionary shall be used to define common words and phrases.

A

Alley: A public roadway (generally not more than 20 to 30 feet wide) that is not intended for general traffic circulation, but rather provides vehicle access to the rear or side of a parcel that has front and/or side access to another street.

Artist Studios: A large, usually unpartitioned space that is used for residential living and/or home businesses. Painters, sculptors, architects, interior designers, and other creative professionals often live and work in lofts and studios.

Awning: a covered architectural projection that extends from the exterior wall of a building for the purpose of providing shade or shelter.

Assisted Living Facility: A living facility that provides care for the elderly, physically disabled, or mentally disabled.

B

Balcony: An outdoor living space located on an upper floor of a building that is partially enclosed by a railing or other safety barrier.

Bay Window: A window and related structure that extends outward from an exterior building wall and thereby forms an alcove in the adjoining interior space.

Block: A parcel or group of adjacent parcels generally surrounded by public streets, not including alleys.

Building Depth: The distance between the front facade of the building and the rear facade of the building.

Building Frontage: The side of the building that faces the front of the parcel.

Building Height: The maximum allowed distance between the average grade of the sidewalk in front of the property to the highest point on the building.

Building Width: the distance from one side of the building's frontage to the other side of the building frontage.

Building Zone: The portion of the building that is required to be occupied by a building.

Build-to-Line (BTL): A line that is parallel to the property line, along which the façade of the building shall be built.

Bulb-out: An extension of the sidewalk into the parking lane at intersection and mid-block crosswalks. Bulb-outs reduce the length of pedestrian crossings and help to slow vehicle traffic.

C

Colonnade: A covered, open-air walkway that is attached to a building and has an overhead structure (roof, balcony, or enclosed habitable space) that is supported by columns or arches.

Cornice: A horizontal molded projection that crowns or completes a building façade. The cornice is the uppermost section of moldings along the top of a wall or just below a roof.

D

Design Regulation: A minimum or baseline design standard for the design of development projects within Downtown Ketchum. In general, development projects must comply with all applicable design regulations. However, an Exception to a design regulation may be granted in certain situations to allow an effective and attractive design solution.

• Example of How it Works:

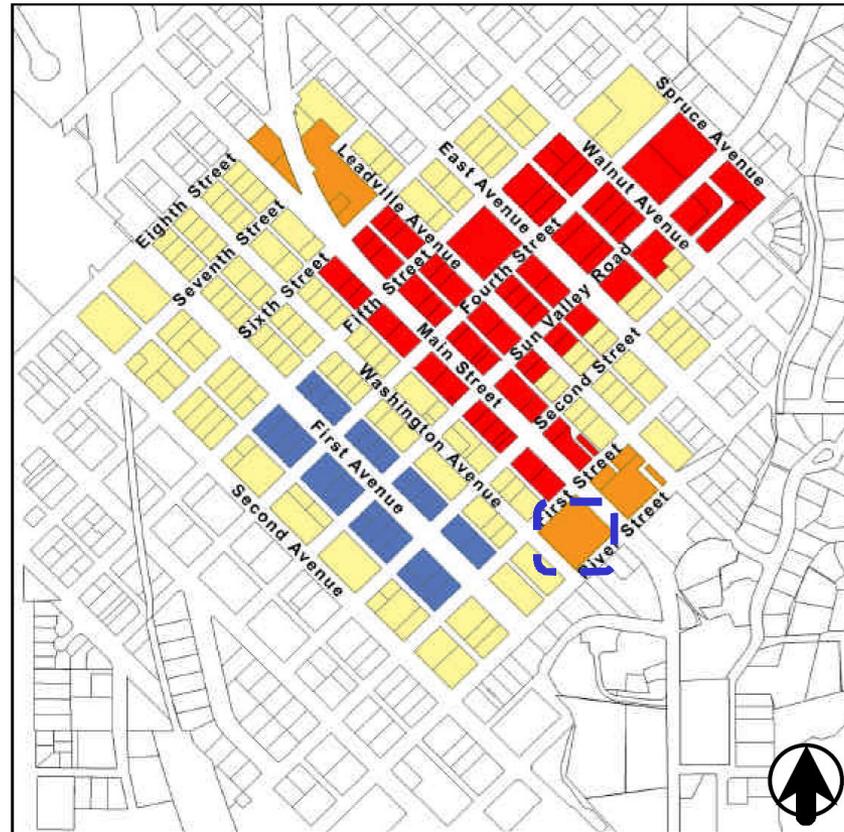
**Table 1:
Permitted Land Uses within Downtown Ketchum**

Use	Prohibited Use	Permitted Use	Permitted Use with Approval of CUP
Retail/Service Uses:			
Mercantile		X	
Grocery store			X
Personal service establishments		X	
Restaurants, bars, cafes		X	
Bakeries and delis		X	
Art galleries		X	
Bank drive-thrus: a maximum of 5 bank drive-thrus are allowed.			X
Drive-thrus for all uses other than banks	X		
Indoor entertainment, recreation, and cultural uses		X	
Service stations (auto repair, gas station, etc.)	X		
Day care center		X	
Mortuary			X
Lobby/access to upper/lower floors		X	
Making of goods in conjunction with retail provided that it does not create noise, odor, dust, fumes, or require outside storage		X	
Office Uses:			
Professional office		X	
Medical/dentist Office		X	
Office within a Multifamily Home Building or Urban Residential Building (either connected or not connected to a residential unit)			X
Residential Uses:			
Single family dwelling	X		
Apartments/condominiums		X	
Condominiums within a hotel	X		
Assisted living facility			X
Home occupations and artist studios within a residential unit		X	
Lodging Uses:			
Hotel/motel		X	
Time share units to a hotel/motel (no more than 25% of the combined floor area of guest rooms shall be time share units)		X	
Public/Semi-Public Uses:			
Civic center (government offices)		X	
Post office		X	
Hospital, church, or school			X
Parks, recreation, plazas, cultural uses		X	
Outdoor Uses on Private Property:			
Outdoor dining		X	
Outside displays of merchandise			X
Outdoor entertainment			X
Other Uses:			
Manufacturing/Industrial/Warehouses/Outdoor Storage Uses	X		
Adult-only businesses	X		
Accessory use to a permitted use identified above		X	
Curb cuts/driveway access from streets (excluding existing alleys)			X
Other uses that are similar to those permitted (or permitted with a use permit) above, as determined by the Planning Director		X	X



• Example of How it Works:

Figure 3: Regulating Plan

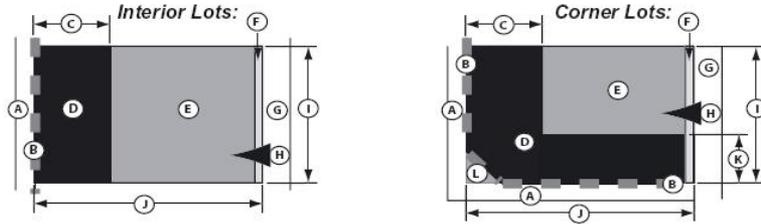


			
Zone A:	Zone B:	Zone C:	Zone D:
<i>Building Types Allowed:</i>	<i>Building Types Allowed:</i>	<i>Building Types Allowed:</i>	<i>Building Types Allowed:</i>
<ul style="list-style-type: none">▪ Traditional Mixed-Use Building▪ Hotel Building	<ul style="list-style-type: none">▪ Neighborhood Mixed-Use Building▪ Mixed-Use Building with Cellar	<ul style="list-style-type: none">▪ Traditional Mixed-Use Building	<ul style="list-style-type: none">▪ Neighborhood Mixed-Use Building▪ Urban Residential Building▪ Multifamily Home Building▪ Mixed-Use Building with Cellar



Example of How it Works:

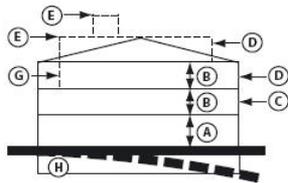
Site Specifications:



- A: Sidewalk
- B: Build-to-Line (BTL): A building facade shall be built along all property lines (at a 0' setback) that are adjacent to a street. Storefronts, building entrances, and upper floor balconies may be recessed into the facade. Up to 50% of the BTL may be setback to create a courtyard or plaza.
- C: Minimum building depth of 20' as measured from the BTL.
- D: Building Zone: 100% of this zone shall be occupied by one (or more) building(s). If an entire block is developed with this building type, the building zone shall extend along all four streets (excluding driveway/alley access points).
- E: Rear Multi-Functional Zone: Zone may be occupied by building, rear yard, courtyard, plaza, parking lot, and/or loading/unloading zones.
- F: Setback Zone: A 3' building setback is required from all alleys. No other setbacks are required.

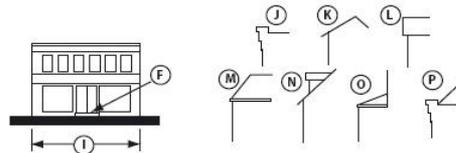
- G: Alley
- H: Access to parking and loading/unloading facilities shall be provided by the alley. Driveway access from a street may be permitted with the approval of a Conditional Use Permit. If approved, the maximum width of the driveway shall be 20'. The center line of all driveways shall be at least 30' from an intersection.
- I: Minimum Lot Width: 55'. All side yard property lines shall be perpendicular to the street.
- J: Minimum Lot Depth: 100'
- K: Minimum building depth of 12' as measured from the BTL.
- L: Building Corner: The BTL at the building corner adjacent to the intersection may be angled, curved, or recessed, but only if a building entrance is created at the corner.

Mass/Height Specifications:



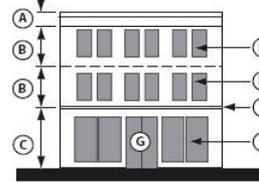
- A: First Floor Ceiling Height: 12' to 15'
- B: Upper Floor Ceiling Heights: 8' minimum and up to 80% of the height of first floor ceiling.
- C: Minimum Number of Floors: 2
- D: Maximum number of Floors: 3. A 4th floor is permitted if the building is using transfer of development rights or if all upper floor uses are exclusively affordable residential units. The 4th floor shall stepback from streets/alleys by at least 10'.
- E: Maximum Building Height: 48'. A stairway/elevator shaft providing access to a roof garden may exceed the maximum height by up to 10' as long as it has a stepback of at least 20' from streets and alleys.
- F: At building entrances, the elevation of the ground floor shall be within 0" to 12" above the adjacent sidewalk grade.

Allowed Roof Forms:



- G: Stepbacks from the BTL are allowed on the third floor.
- H: Multi-level basements are allowed.
- I: Building Width: 16' minimum and 55' maximum. A single building on a lot wider than 55' is permitted if it is designed to look like multiple buildings. Each segment of the building shall have a maximum width of 55'.
- J: Flat Roof with Parapet or Cornice
- K: Hip Roof
- L: Gabled Roof
- M: Full Mansard Roof
- N: Dormers
- O: Shed Roof: Only allowed where building stepbacks occur.
- P: Appropriate combinations of the above roof forms

Facade Specifications:



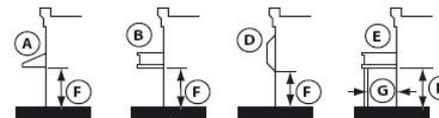
The following specifications apply to all facades that front a street, park, and/or plaza.

- A: Building Cap or Roof: The top of the building shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: A horizontal design element is required to differentiate between the ground floor and upper floors. Examples include a cornice line, awning, balcony, or change in the building material.
- E: Upper Floor Window Fenestration: 30% to 70% of each upper floor facade shall be occupied by windows/doors. This specification does not apply to floors where sloped roofs and dormer windows are used.
- F: First Floor Window Fenestration: 60% to 90% of each first floor facade shall be occupied by transparent windows/doors.
- G: Entry Door: At least one entry door is required for each business with ground floor street frontage.

Prohibited Facade Elements:

- A: External chimneys, external staircases, garage doors, window security bars, and security roll-up doors are prohibited on facades that front a street, park, and/or plaza.

Allowed Projecting Facade Element:



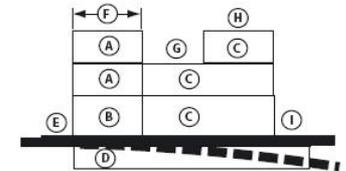
- A: Awnings/Marqueses may project 3' to 6' from the facade.
- B: Balconies/Decks may project up to 6' from the facade.
- C: Projecting Signs may project up to 4' from the facade. The area of the sign face shall not exceed 10 square feet. Only one projecting sign per ground floor business is permitted.
- D: Bay windows may project up to 3' from the facade.
- E: Colonnades (supporting either a shed roof or balcony) may project up to 6' from the facade. Supporting posts shall have a diameter or square width between 6" to 12".
- F: 8' minimum clearance.
- G: 5' minimum clearance (from inside of post/column to facade).

Figure 4: Development Specifications for Traditional Mixed-Use Building

Example Photographs:

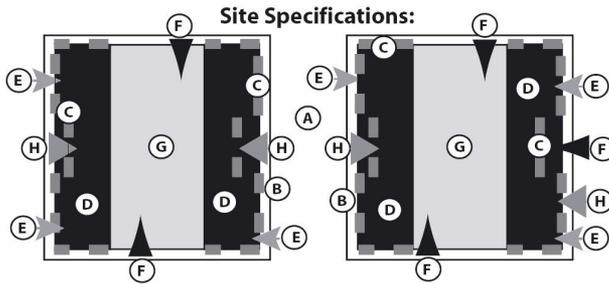


Use Specifications:



- A: Upper Floor with Street Frontage: All uses as permitted by Table 1 are allowed. Parking is prohibited.
- B: Ground Floor with Street Frontage: All Retail/Service uses as permitted by Table 1 are allowed. Parking is prohibited.
- C: Floors without Street Frontage: All uses as permitted by Table 1 are allowed. Structured parking is allowed.
- D: Basement: Parking and storage for on-site uses are allowed. Additional space for a permitted ground floor use is also allowed.
- E: Sidewalk: Outdoor uses as permitted by a Sidewalk Use Permit.
- F: Minimum Depth of Street Frontage Uses: 20' as measured from the front facade. On a corner building, the depth shall be 12' from the side facade adjacent to the street.
- G: Outdoor Residential Open Space: If the building has residential uses, then outdoor residential open space is required. These spaces may occur on any level of the building, including the roof. The total area of required open space shall equal 25% of the lot's total area. The minimum size of any one space shall be at least 450 square feet with no dimension less than 20'. These spaces shall be open to all of the residents within the building (i.e., they are not private outdoor spaces).
- H: Roof Gardens (private and public) are allowed.
- I: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located to the rear of the building and shall be screened from public view. Utility meters are allowed in the setback zone if they are enclosed within a utility box.

Example of How it Works:



- A: Main Street
- B: Sidewalk
- C: Build-to-Line (BTL): The facade shall be built anywhere within the building zone and within 30' of the front property line. Storefronts, building entrances, and upper floor balconies may be recessed into the facade.
- D: Building Zone: 60% to 100% of the zone shall be occupied by one or more buildings. Spaces that are not occupied by a building shall be occupied by courtyards, landscaping, hotel entryways, a porte cochere, or other public space. The minimum depth of this zone shall be 50' as measured from the front property line.
- E: All ground floor uses that are intended to serve both hotel guests and the general public (such as a restaurant or retail store) shall have a pedestrian entrance directly from the street.
- F: Vehicle Access Points: Vehicle access, including driveways to a porte cochere, parking facilities, and access to loading and unloading zones, are only allowed off of River Street, First Street, 8th Avenue, and Leadville Avenue. The width of the driveway shall not exceed 20'. The center line of all driveways shall be at least 30' from an intersection.
- G: Multifunctional Zone: Zone may be occupied by buildings, useable open space, porte cochere, loading and unloading zone, valet parking service area, and access to parking facilities. Garbage disposal facilities shall be located in the Multifunctional Zone. All garbage disposal areas shall be screened from public view by buildings, walls, or trash enclosures. Surface parking shall be screened from public view by a fence/wall and landscaping.
- H: Pedestrian Entrance to Hotel: Pedestrian entrances to the Hotel shall be required from Main Street, Washington Avenue and Leadville Avenue.

Facade Specifications:



The following specifications apply to facades that front a street, park, and/or plaza:

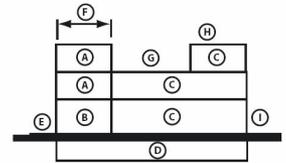
- A: Building Cap or Roof: The top of the building shall be defined by a cap, such as a cornice or a roof overhang.
- B: Upper Floor Facade
- C: Ground Floor Facade
- D: Upper Floor Window Fenestration: 30% to 70% of each upper floor facade shall be occupied by windows/doors.
- E: First Floor Window Fenestration: 60% to 90% of each first floor facade shall be occupied by transparent windows/doors. This specification does not apply to ground floor facades within the Multifunctional Zone.
- F: Entry Door: At least one entry door is required for each business with ground floor street frontage.

Figure 8: Development Specifications: for Hotel Building

Example Photographs:

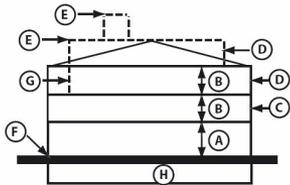


Use Specifications:



- A: Upper Floor with Street Frontage: Lodging, retail/service uses as permitted by Table 1. Parking is prohibited.
- B: Ground Floor with Street Frontage: Active uses shall occur on the street frontage of ground floors within the Building Zone (refer to Site Specification D). Active uses include, but are not limited to, lobby space, guest registration, restaurants, bars, business center, workout facilities, conference facilities, office space and retail stores. This specification does not apply to ground floor uses within Multifunctional Zone (refer to Site Specifications F).
- C: Floors without Street Frontage: Lodging, retail/service, and residential uses as permitted by Table 1. Structured parking is permitted.
- D: Basement: Parking and/or storage for upper floor uses.
- E: Sidewalk Uses: Sidewalk outdoor uses as permitted by a Sidewalk Use Permit.
- F: 20' Minimum depth for street frontage uses.
- G: Outdoor Open Space: Outdoor open space is required. These spaces may occur on any level of the building, including the roof. The total area of required open space shall equal 25% of the lot's total area. The minimum size of any one space shall be at least 450 square feet with no dimension less than 20'. These spaces shall be open to all hotel guests (i.e., they are not private spaces for individual guests of the hotel).
- H: Roof Gardens (private and public) are allowed.
- I: Utility meters, garbage disposal areas, surface parking lots, and loading and unloading facilities shall be located to the rear of the building and shall be screened from public view. Utility meters are allowed in the setback zone if they are enclosed within a utility box.

Mass/Height Specifications:



- A: First Floor Ceiling Height: 12' to 20'.
- B: Upper Floor Ceiling Heights: 8' minimum and up to 80% of the height of first floor ceiling.
- C: Minimum Number of Floors: 2
- D: Maximum number of Floors: 3. A 4th floor is permitted if the building is using transfer of development rights. The 4th floor shall setback from streets and alleys by at least 10'.
- E: Maximum Building Height: 48' for a 3-story hotel and 58' for a four story hotel. All buildings greater than 48' shall require final approval from the City Council. A stairway/elevator shaft providing access to a roof garden may exceed the maximum height by up to 10' as long as it has a setback of at least 20' from a street or alley.

Allowed Roof Forms:

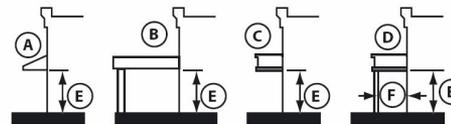


- F: If the building is not setback from the sidewalk, then the entrance shall be at the grade of the sidewalk. If the building is setback from the sidewalk, then the entrance may be elevated above the sidewalk grade by up to 4'.
- G: Building setbacks are allowed on the third floor.
- H: Basement
- I: Building Width: 55' minimum and 220' maximum.
- J: Flat Roof with Parapet or Cornice
- K: Hip Roof
- L: Gabled Roof
- M: Full Mansard Roof
- N: Dormers
- O: Shed Roof: Only allowed where building setbacks occur.
- P: Appropriate combinations of the above roof forms

Prohibited Facade Elements:

- A: External chimneys, external staircases, garage doors, window security bars, and security roll-up doors are prohibited on facades that front a street, park, and/or plaza.

Required and Allowed Projecting Facade Element:



- A: Awnings/Marquees may project 3' to 6' from the facade. At major pedestrian entrances to the hotel, marquees may extend between 6' and up to 2/3rds the distance between the front facade and the curb line of the sidewalk. Supporting posts are permitted at these entrances.
- B: Porte Cocheres may project up to 32' from the facade. They are not allowed to project over the public sidewalk.
- C: Balconies/Decks may project 3' to 6' from the facade.
- D: Colonades (supporting either a shed roof or balcony/deck) may project from 5' to 6' from the facade. Supporting posts shall have a square width or diameter of 6" to 12".
- E: 8' minimum clearance.
- F: 5' minimum clearance (from inside of post/column to facade).

Example of How it Works:

Downtown Regulating Code Section 4:
Design Regulations and Guidelines

Design Guidelines

DG.A-1: Limit the number of building materials used on the facade. As a general rule, use no more than 3 different types of materials on a single facade.

DG.A-2: Materials that are consistent with local vernacular architecture, as well as those that are indigenous to the region are desired. Appropriate building materials that are encouraged on facades in primary materials include:

- Brick (in an angled finish and earth tone)
- Painted or stained log horizontal siding and vertical board and batten wood siding
- Painted, stained, or natural finish shingles
- Stained or natural finish wood logs
- Wrought iron
- Hardie Board
- Finished and painted wood trim
- Wood, aluminum, copper, steel, and vinyl
- Old wood frames for windows and doors
- Wood, metal, and glass doors

Secondary materials should generally be limited to no more than 30% of a facade. Secondary materials include:

- Heavy masonry
- Stone or stone
- Rustic masonry block
- Composites material that is case, reflective
- Natural stone or river rock

DG.A-3: Inappropriate building materials that are discouraged on facades include:

- Plywood
- Hardboard
- Unfinished lumber
- Composite fiberglass
- Vinyl or low aluminum siding
- Sheet metal or tin siding
- Terraced T-11 siding
- Reflective materials
- Manufactured building materials (other than Hardie Board) that are intended to simulate natural products/materials

City of Ketchum Page 4-4

Downtown Regulating Code

Section 4:

Design Regulations and Guidelines

A. ALL BUILDING FACADES

Design Regulations:

DR.A-1: Facades shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and glass curtain walls. Blank walls on all facades that front a park, street, alley, plaza, or other public spaces are prohibited.

DR.A-2: On all facades, a clear visual distinction between each floor shall be provided.

DR.A-3: Stairways shall have a design that is compatible with overall structure. Stairs shall not have a tacked-on appearance or look like their design was an addition or afterthought.

DR.A-4: All sides of the facade shall be designed with similar architectural elements, materials, and colors as the front facade. However, the design of side and rear facades may be simpler, more casual, and more utilitarian in nature.



Window openings and solid surfaces are balanced on the facade, which avoids the creation of blank walls and glass curtain walls

A clear visual distinction between each floor is provided



Blank walls and facades that do not clearly delineate each floor of the building are prohibited:



Appropriate relationship between front facade (above) and rear facade (below): The rear facade has similar materials and treatments, but the design is more utilitarian and less formal.



City of Ketchum



Page 4-2

Downtown Regulating Code

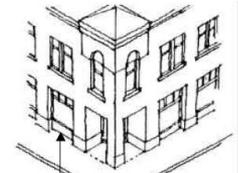
Section 4:

Design Regulations and Guidelines

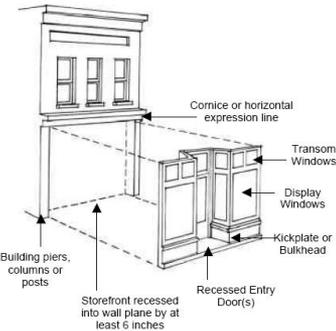
DG.B-5: The ground floor of buildings facades should be divided into structural bays for storefront openings. The width of the structural bay or the storefront should not exceed its height.

DG.B-6: Elements of traditional "Main Street" storefronts are encouraged. These elements include the recessed entry door(s), display windows, the kickplate or bulkhead, and transom windows.

DG.B-7: Storefronts should be recessed into the wall plane by at least 6 inches and should be framed by building piers or columns and a cornice or horizontal expression line.



Structural bays for storefronts



Building piers, columns or posts

Storefront recessed into wall plane by at least 6 inches

Recessed Entry Door(s)

City of Ketchum

Page 4-8

Downtown Regulating Code Section 4:
Design Regulations and Guidelines

DR.E-8: All streetlights, streetcape furniture, and amenities shall be consistent with a City approved list of approved fixtures.

DR.E-9: Streetlights shall be scaled to pedestrians and shall be no taller than 14 feet.

DR.E-10: Streetlights shall be equipped with hardware to allow flowerpots and banners to hang from the streetlight. At least 7 feet of vertical clearance shall be provided from the sidewalk to the bottom of the flowerpot or banner.

DR.E-11: Community organizations are allowed to hang banners from public streetlights with the approval of a sidewalk use permit. The Planning Director shall approve all banners that are hung from public streetlights. The Ketchum Street Department shall be responsible for hanging all streetlight banners. The City reserves the right to charge a fee for the banners.

DR.E-12: All new public sidewalks shall be heated to facilitate the removal of snow.

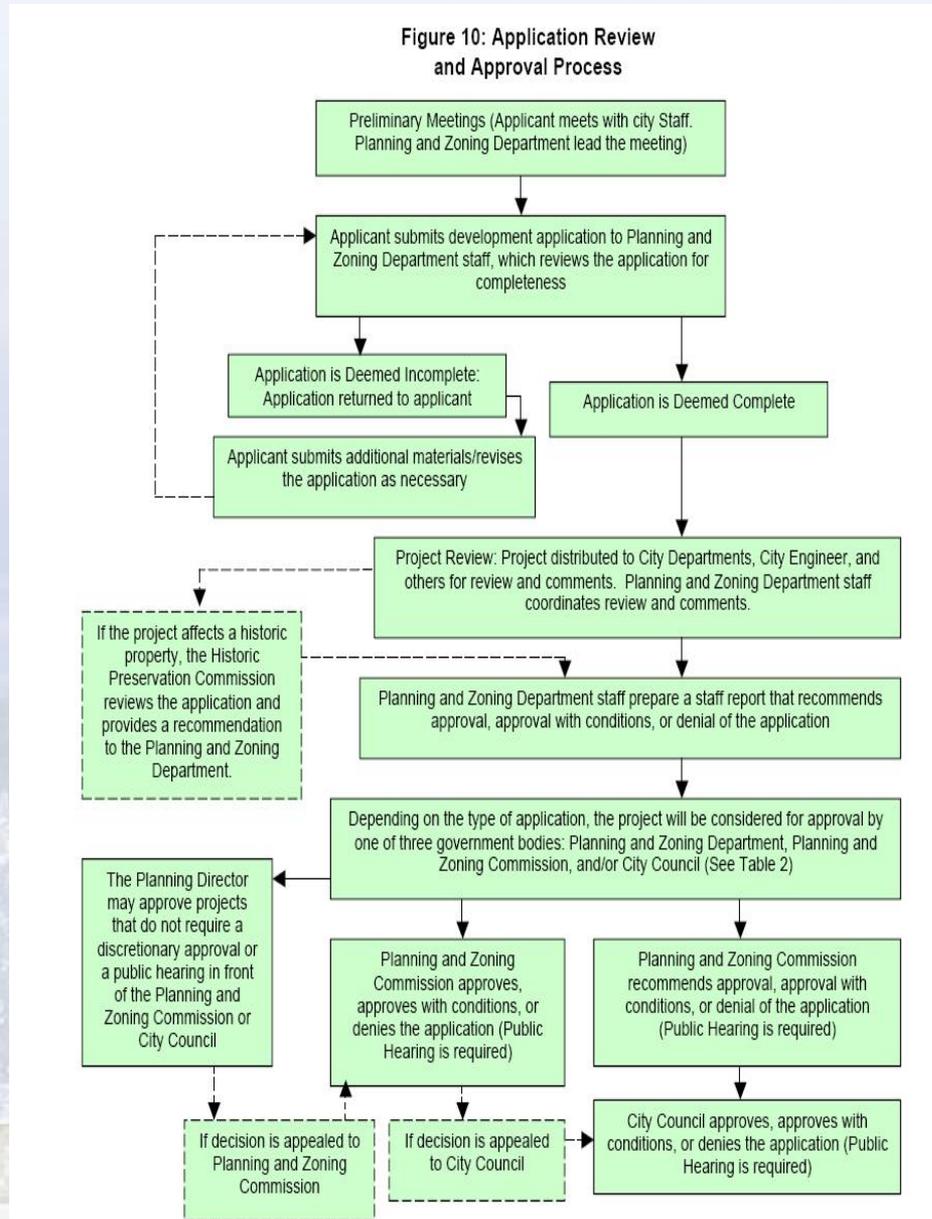
DR.E-13: All sidewalks shall be constructed of concrete pavers. Special paving features may be allowed on the sidewalks of unique streets within the Downtown, such as Fourth Street and First Avenue.

DR.E-14: The project applicant shall be required to pay for concrete sidewalk, curbs, and gutters within the public right-of-way adjacent to the project site when the value of construction exceeds \$20,000.

City of Ketchum Page 4-36



Example of How it Works:



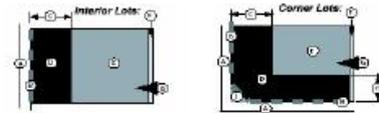
Adopted Zoning Ordinance:

- City revised document to fit into their zoning ordinance
- No longer a separate document
- Added FAR restrictions
- Less user friendly

K.1.a. Building Type 1: Traditional Mixed-Use

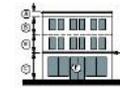
i. Applicable Sub-Districts: A, B

ii. Building Type 1 - Site Specifications:



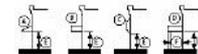
- A. Sidewalk
B. Setback line: The building façade shall be setback an average of 5 feet from the front property line, and from the side property line of a corner lot, except in sub-district A where no setback is required.
C. Minimum line.
D. Building (more) by setback with this streets, upper floor
E. Multi-Family yard, corner
F. Alley Setback
G. Access to by the alley
H. Minimum line on a
I. Building outdoor

v. Building Type 1 - Façade Specifications:



- A. Building Cap: The top of the building shall be defined by a cap, such as a cornice or eaves.
B. Upper Floor Façade Window Fenestration: 30 to 70 percent of each upper floor façade shall be occupied by windows or doors, except where sloped roofs forms are used.
C. Ground Floor Façade Window Fenestration: 60 to 90 percent of each ground floor façade shall be occupied by transparent windows and doors.
D. A horizontal design element is required to differentiate between the ground floor and upper floors. Examples include a cornice line, awning, balcony, or change in the building material.
E. Entry Door: At least one entry door is required for each business with ground floor street frontage.

vi. Building Type 1 - Façade Elements:



- A. Awnings/Marqueses may project 3 feet to 6 feet from the facade.
B. Balconies/Decks may project up to 6 feet from the facade.
C. Bay windows may project up to 3 feet from the facade.
D. Columns (supporting either a shed roof or balcony) may project up to 6 feet from the facade. Supporting posts shall have a diameter or square width between 6 inches to 12 inches.
E. Vertical Clearance: 8 feet minimum.
F. Clearance from inside of post/column to façade: 5 feet minimum.
G. Prohibited façade elements include external chimneys, external staircases, garage doors, window security bars, and security roll-up doors are prohibited on facades that front a street, park, and/or plaza.

Final Product

- City revised document to fit into their zoning ordinance
- Added FAR restrictions
- TDR Program was added
- Administration section was removed

17.64.020.4.H. COLONNADES

Design Regulations:
DR.H-1: The following standards apply to projecting colonnades:

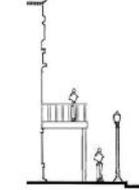
- Colonnades may be covered with a roof or a balcony. An enclosed habitable space may occur above the colonnade, as long as it does not occur over the public sidewalk.
- Supporting columns and posts shall be spaced and sized so that they do not block views of storefront windows from the street.



Colonnades offer pedestrians protection from the elements, shadows created by the colonnade that may block views into storefronts should be avoided (as demonstrated in the two pictures below)



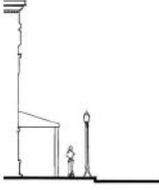
Colonnade covered balcony



Colonnade covered by open balcony



Colonnade covered by habitable space (not allowed over the sidewalk)



Colonnade covered by roof

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First Development Application:



LEADVILLE AVENUE

LOT 5A L.L.C.
STEVE R. COOK, ARCHITECT ■ ■ ■



Lessons Learned

- Involve community and stakeholders throughout the process
- Involve City staff to train and enhance their capacity, and to improve Code
- Understand the required legal format as early as possible
- Allow enough time and budget to test the code from a design perspective
- Conduct independent feasibility analysis

